

# CONCEPTUAL DEVELOPMENT PLAN / FINAL DEVELOPMENT PLAN EDS/LINCOLN PROPERTY CO.

SULLY MAGISTERIAL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

REV. OCTOBER 24, 2006

## PROJECT TEAM

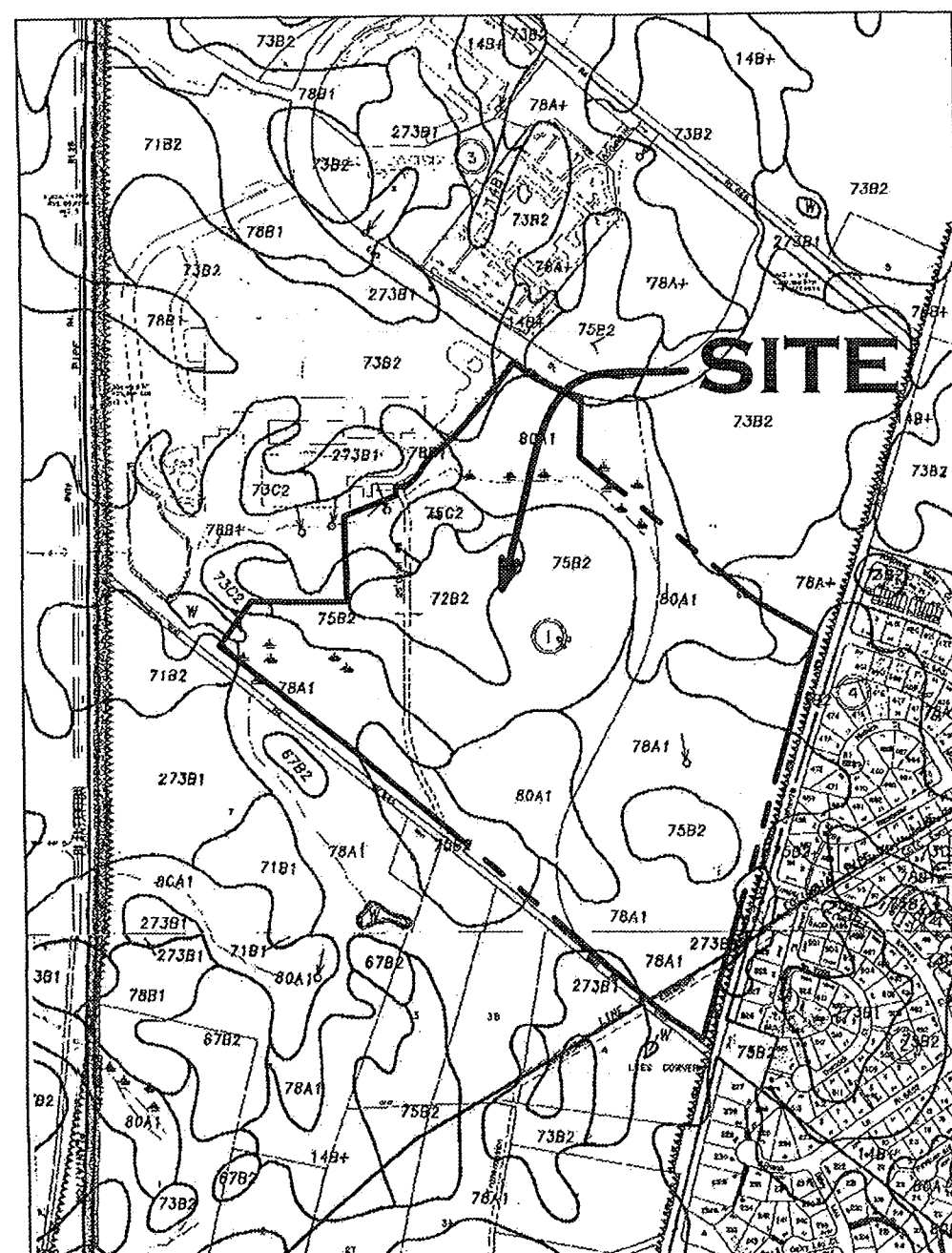
**APPLICANT:**  
LINCOLN PROPERTY COMPANY  
1155 HERNDON PARKWAY  
SUITE 100  
HERNDON, VA 20170

**CIVIL ENGINEER/ LANDSCAPE ARCHITECT:**  
WILLIAM H. GORDON ASSOCIATES, INC.  
4501 DALY DRIVE  
CHANTILLY, VA 20151

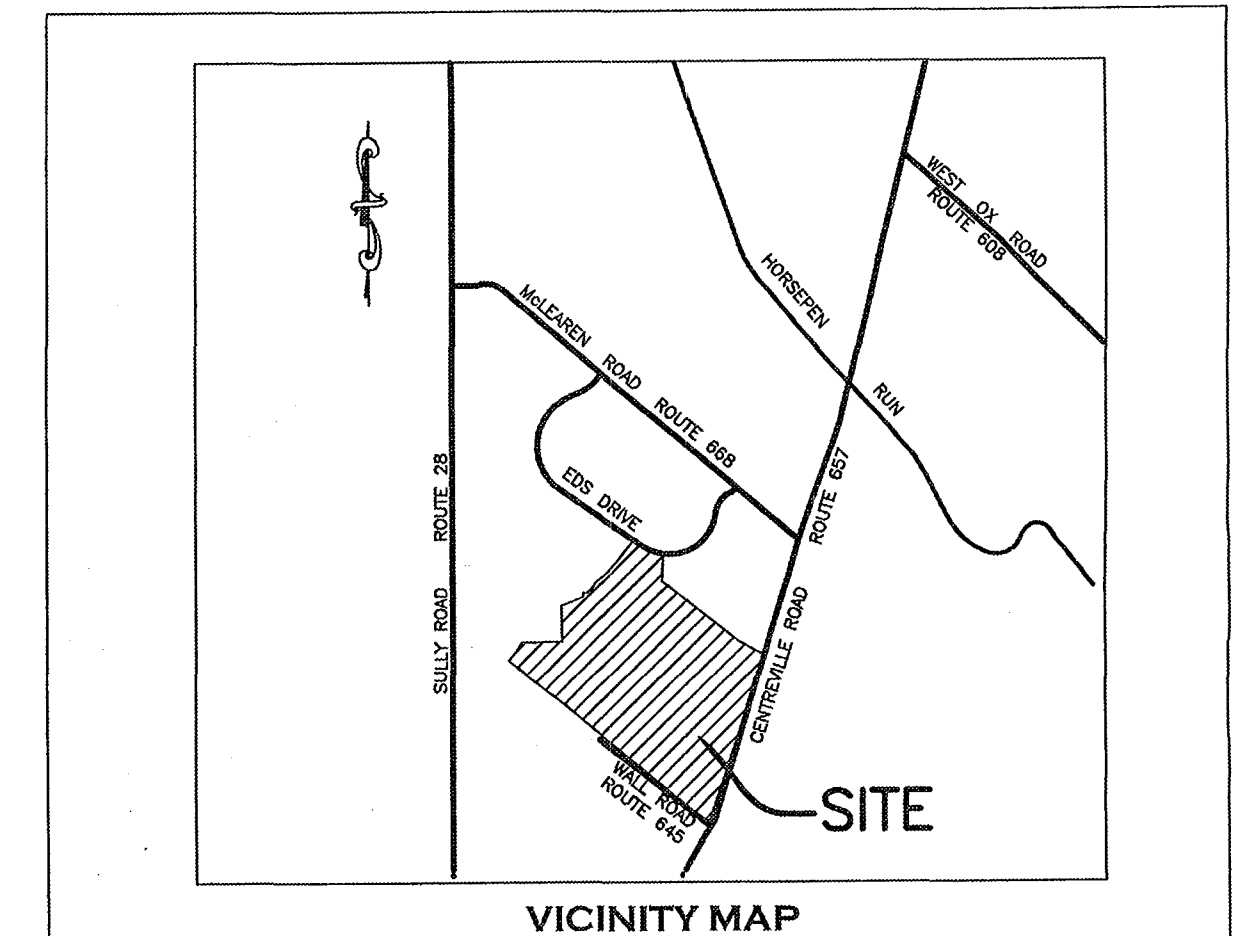
**PLANNER / ARCHITECT:**  
SHOOK KELLEY  
2151 HAWKINS ST.  
SUITE 400  
CHARLOTTE, NC 28203

**LAND USE ATTORNEY:**  
REED-SMITH  
3110 FAIRVIEW PARK DR.  
SUITE 1400  
FALLS CHURCH, VA 22042

**TRAFFIC ENGINEER:**  
WELLS & ASSOCIATES  
9324 WEST STREET, SUITE 203B  
MANASSAS, VA 20110  
&  
1420 SPRING HILL ROAD, SUITE 600  
McLEAN, VA 22102



SOILS MAP  
SCALE - N.T.S.



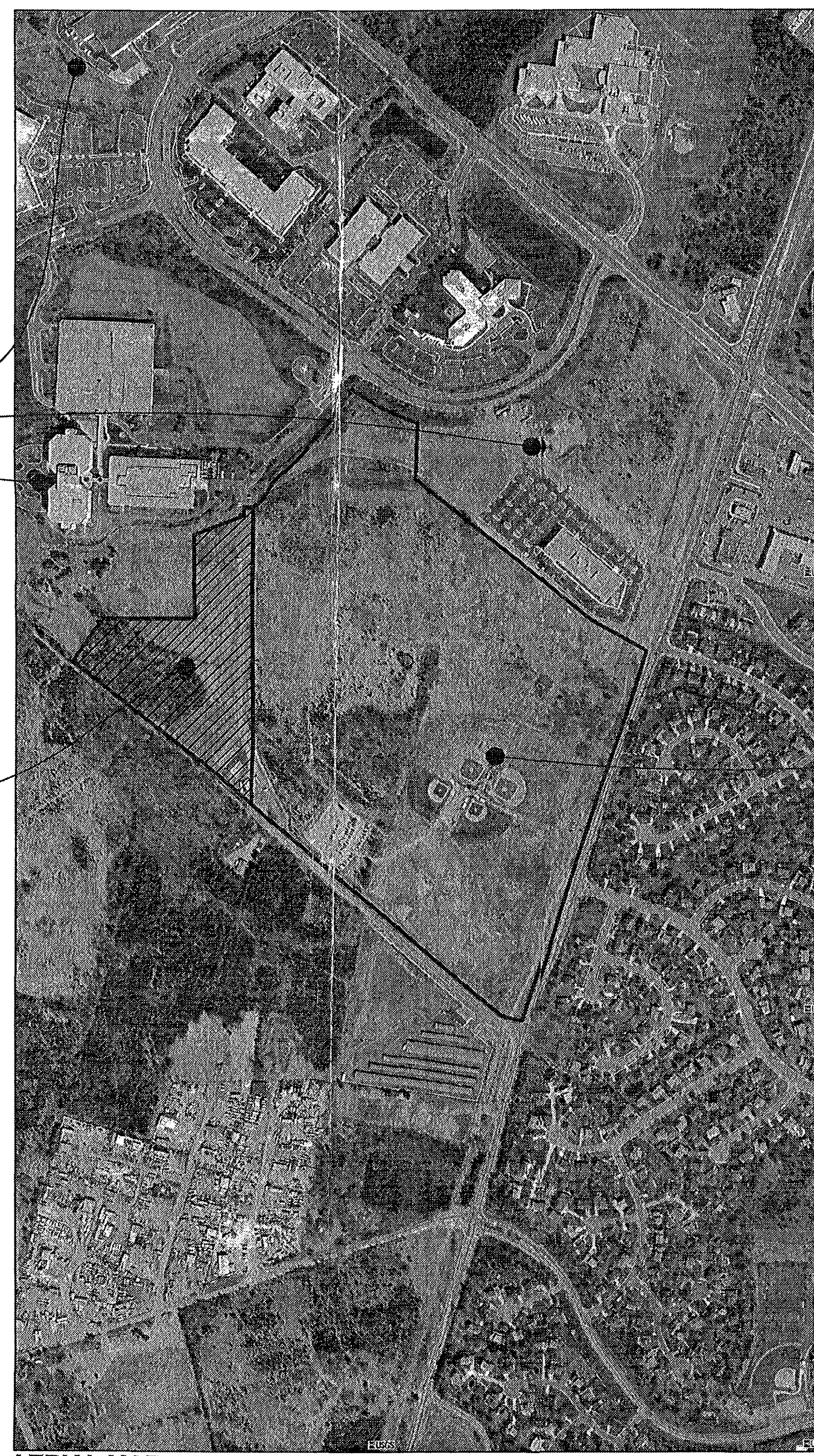
VICINITY MAP  
SCALE - 1:2000

SOIL ID NUMBERS	SERIES NAME	FOUNDATION SUPPORT	SUBSURFACE DRAINAGE	SLOPE STABILITY	ERODIBILITY	GEOTECHNICAL REPORT REQD
67	PENN (FSL)	GOOD	FAIR	GOOD	HIGH	NO
71	BUCKS (SIL)	GOOD	GOOD	GOOD	MODERATE	NO
73	PENN (SIL)	GOOD	FAIR	GOOD	HIGH	NO
75	PENN (L)	GOOD	GOOD	GOOD	HIGH	NO
78	CALVERTON	POOR	MARGINAL	GOOD	LOW	YES
80	CROTON	POOR	POOR	GOOD	LOW	YES
273	READINGTON	GOOD	MARGINAL	GOOD	MODERATE	YES

SOILS WITH IDENTIFICATION NUMBERS 59, 66, 69, 141, 142, AND 152 MAY OVERLAY PARENT BEDROCK FORMATIONS WHICH HAVE BEEN FOUND TO CONTAIN NATURALLY OCCURRING ASBESTOS MINERALS. SPECIAL MINIMUM CONSTRUCTION MEASURES AND PRECAUTIONS ARE REQUIRED IN COMPLIANCE WITH HEALTH DEPARTMENT DIRECTIVES WITHIN THESE SOILS OR WITHIN FILL ORIGINATING FROM THESE SOILS.

I-5 AREA TO REMAIN AT 1.0 FAR (SEE FAR EXHIBIT SUBMITTED SEPARATELY WITH THIS APPLICATION FOR REMAINING GROSS FLOOR AREA ALLOWED)

PROPOSED OFF-SITE 17.0 ± ACRES BALLFIELD PARK (TO BE DEDICATED AND NOT PART OF THIS APPLICATION)



AERIAL MAP

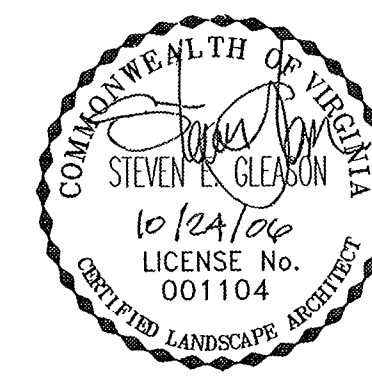
PROPOSED AREA TO BE REZONED TO PRM

Application No RZ/FDP-2006-SU-007 Staff JD Moss  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)

Date of (SOS) (PC) Dec 4, 2006  
Sheet 1 of 26



N.T.S.



## SHEET INDEX

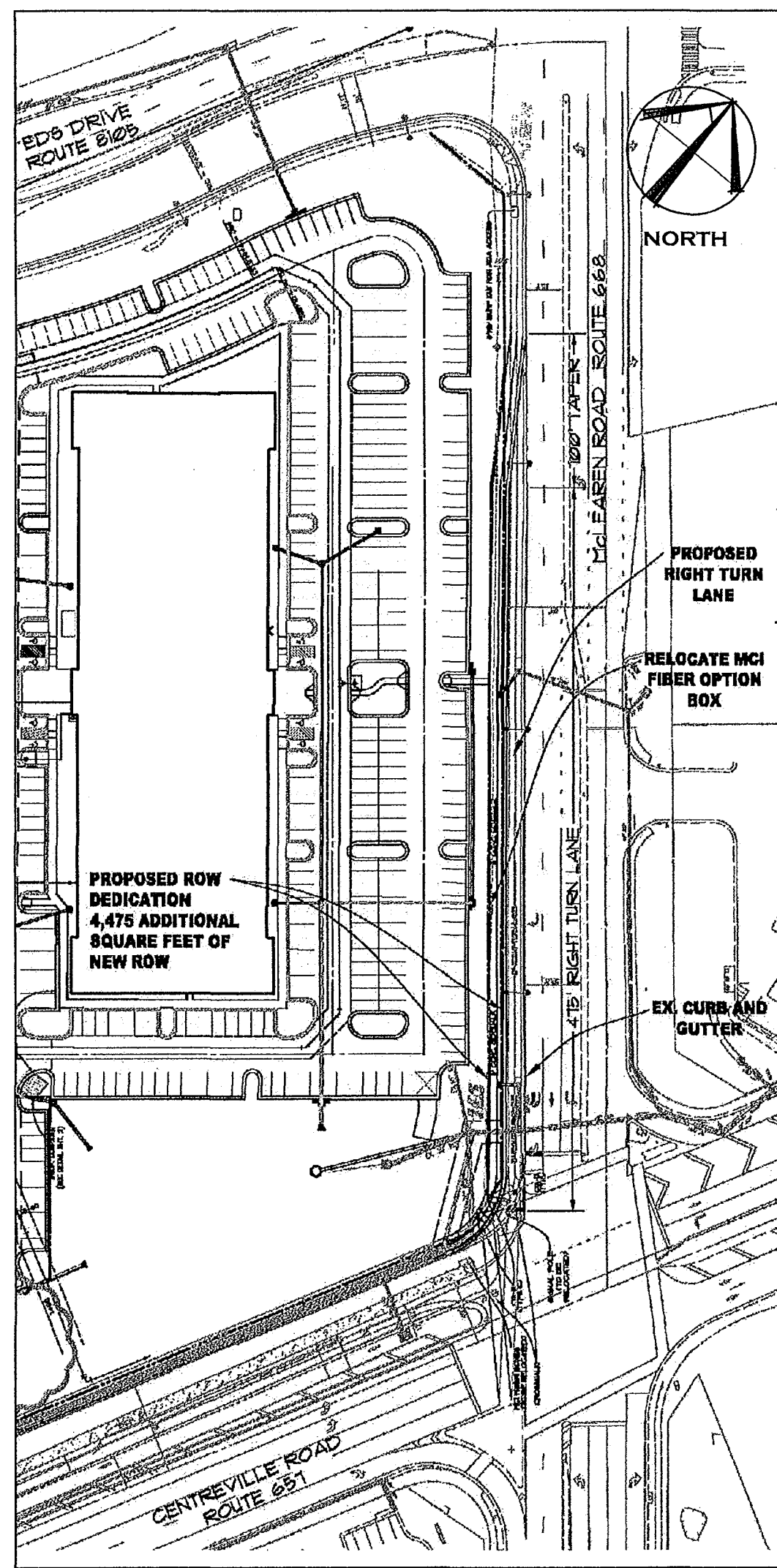
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- 3 — SITE CONTEXT / OVERALL MASTER PLAN
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- 5 — CDP / FDP
- 6 — ALTERNATE OVERALL MASTER PLAN
- 7 — ALTERNATE CDP / FI<sub>3</sub>P
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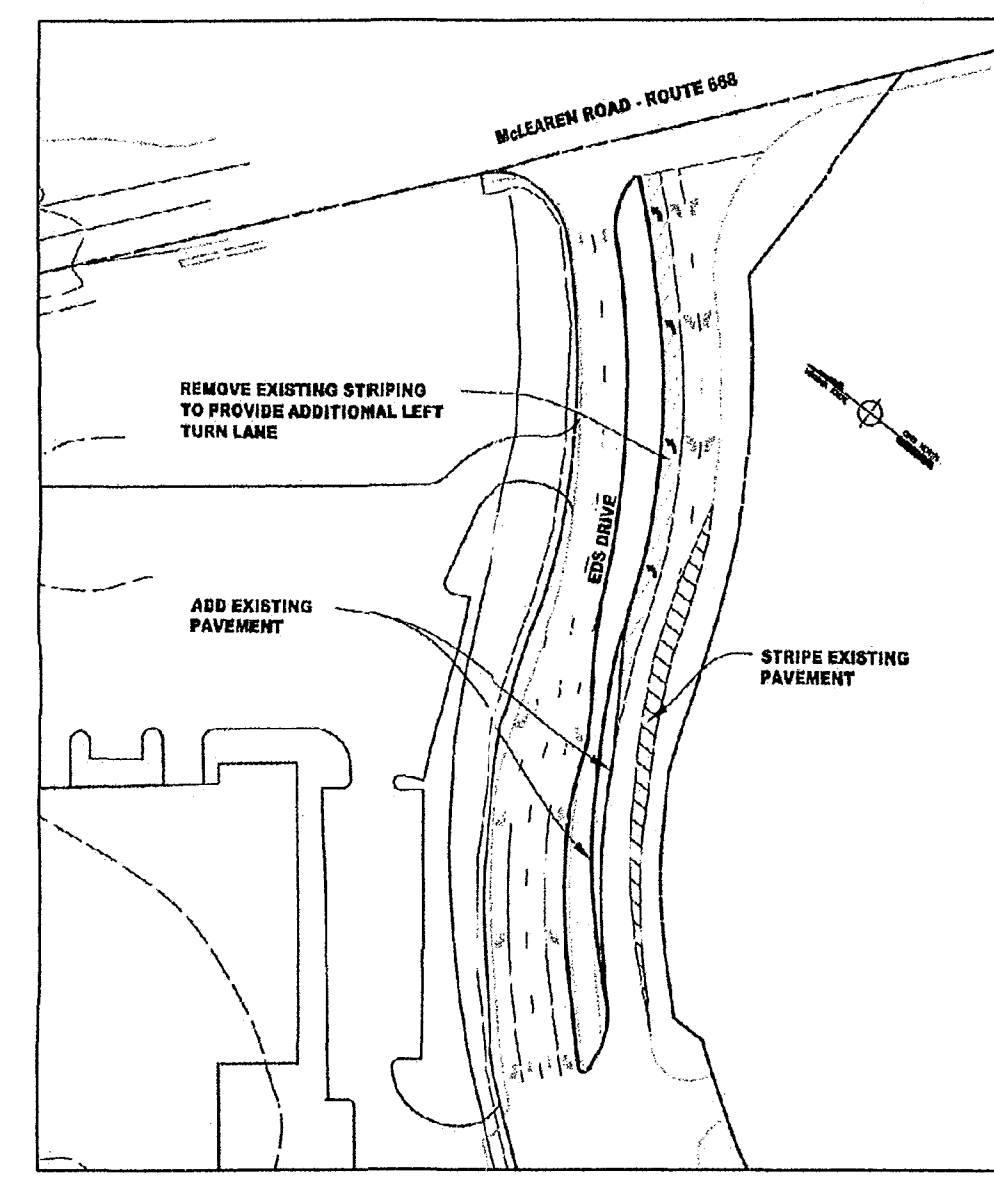
**GENERAL NOTES:**

- LOCATION/EXISTING ZONING AND USE:** THE PROPERTY CONSISTS OF APPROXIMATELY 66.88 ACRES AS DELINEATED ON THIS PLAN AND IS SHOWN ON FAIRFAX COUNTY TAX MAP No. 24-4 ((1) PARCELS 6B (PORTION) AND 6C (PORTION), NOW IN THE NAME OF EDS INFORMATION SERVICES L.L.C. THE SITE IS ZONED I-5 (INDUSTRIAL) AND U5 (WATERSHED PROTECTION OVERLAY DISTRICT).
- REQUEST:** THE APPLICANT REQUESTS A REZONING FROM I-5 TO FRM1 AND A PROFFER CONDITION AMENDMENT (PCA) TO BEVER THE PROPOSED FRM1 ZONE DISTRICT FROM THE UNDERLYING I-5 PORTION OF THE EDS CAMPUS.
- COMPREHENSIVE PLAN:**
  - PLAN TEXT/PLAN AMENDMENT:** THE PROPERTY IS LOCATED WITHIN LAND UNIT D-3 OF THE DULLES SUBURBAN CENTER IN AREA III. THE COMPREHENSIVE PLAN RECOMMENDS THAT THIS PROPERTY BE DEVELOPED WITH HIGH QUALITY, CAMPUS-STYLE OFFICES IN THE RANGE OF 2500 TO 10,000 SF. IT IS ALSO RECOMMENDED THAT A PORTION OF THE PROPERTY NEAR THE INTERSECTION OF McLEAREN ROAD AND RT. 28 BE CONSIDERED AS A FUTURE TRANSIT STOP. AS AN OPTION, THE PLAN WAS RECENTLY AMENDED TO INCLUDE AN OPTION FOR A MIX OF USES DETAILING THE COMBINATION OF OFFICE, RETAIL, RECREATION, AND RESIDENTIAL USES ON THIS SPECIFIC SITE OF APPROXIMATELY 67 ACRES. FURTHER, THE COUNTY'S AIRPORT NOISE IMPACT OVERLAY DISTRICT BOUNDARY LIES ON THE FAR WESTERN EDGE OF THE PROPERTY.
  - CENTREVILLE ROAD (RT. 651):** ALONG THE SUBJECT PROPERTY, THE COMPREHENSIVE PLAN CALLS FOR CENTREVILLE ROAD (RT. 651) TO BE IMPROVED TO A 6-LANE COLLECTOR ROAD. THIS CDP/FDP DEPICTS A VDOT ROAD CONSTRUCTION PLAN FOR THE FUTURE FOUR (4) LANE WIDENING OF CENTREVILLE ROAD ALBEIT WITH PROPOSED ROW TO SUPPORT THE ULTIMATE SIX (6) LANE IMPROVEMENT WITHIN THE PLANNED CENTER MEDIAN. THE APPLICANT IS PROPOSING TO DEDICATE ROW, AS SHOWN, TO THEREBY ALLOW FUTURE IMPLEMENTATION OF THE VDOT PLAN.
- OWNERSHIP:** SEE AFFIDAVIT FOR OWNERSHIP INFORMATION.
- PROPOSED USES:** SEE PROFFER 11-A REGARDING PERMITTED AND SECONDARY USES.
- MINOR MODIFICATIONS:** THE APPLICANT RESERVES THE RIGHT TO MAKE MINOR MODIFICATIONS TO THE BUILDINGS FOR FOOTPRINT SIZE, PARKING LOT LAYOUT, AND GROSS FLOOR AREA SHOWN ON THIS CONCEPTUAL DEVELOPMENT PLAN (CDP) AND FINAL DEVELOPMENT PLAN (FDP) BASED ON FINAL ENGINEERING AND ARCHITECTURAL DESIGN PROVIDED THE OVERALL FLOOR AREA RATIO (F.A.R.) IS NOT EXCEEDED, OPEN SPACE PROVIDED IS NOT REDUCED, AND THE MINIMUM BUILDING SETBACKS AND BULK PLANE ANGLES TO THE PERIPHERAL LOT LINES ARE NOT REDUCED AND THAT THE CHANGES ARE DETERMINED TO BE IN SUBSTANTIAL CONFORMANCE WITH THE CDP/FDP. THE DIMENSIONS SHOWN FOR BLDG. SETBACK AS MEASURED TO THE OUTER VERTICAL FACADES AND DO NOT INCLUDE ANY ARCHITECTURAL ELEMENTS SUCH AS COVERED BALCONIES, PORCHES, CHIMNEYS, EAVES, ETC.
- SPECIAL AMENITIES & ARCHITECTURAL SKETCHES:** THIS SUBMISSION INCLUDES DESIGN FEATURES AND AMENITIES UNIQUE TO MIXED USE, RETAIL, AND A LIVE/WORK CONCEPT INCLUDING AREAS FOR ACTIVE AND PASSIVE RECREATION, STREETSCAPE FEATURES, AND A LANDSCAPED WALKWAY TO PROVIDE PEDESTRIAN ACCESS THROUGH THE SITE (SEE ARCHITECTURAL DESIGN GUIDELINES SHEET).
- BOUNDARY & TOPOGRAPHY INFORMATION:** BOUNDARY INFORMATION FOR THE SUBJECT SITE IS TAKEN FROM AN 'ALTA' SURVEY PREPARED BY WILLIAM H. GORDON ASSOCIATES, INC. (W.H.G.A.) IN SPRING OF 2004 AND DOES REFLECT TITLE INFORMATION. TOPOGRAPHIC INFORMATION PRESENTED IS AT A TWO-FOOT CONTOUR INTERVAL AND IS BASED ON AERIAL MAPPING AND DOES NOT REFLECT ALL EXISTING CONDITIONS (E.G. THE C.Y.A. BALLFIELD).
- PUBLIC STREETS:** THE PROPOSED NORTH-SOUTH COLLECTOR ROAD IS PLANNED AS A PUBLIC STREET TO CONSIST OF FOUR (4) LANES WITH A CENTER MEDIAN FOR LEFT TURN LANES - THE ROAD IS SUBJECT TO VDOT APPROVAL, AND AS SUCH MAY CHANGE BASED ON DETERMINATION OF ALLOWABLE DESIGN SPEED. IF NEEDED, THE APPLICANT WILL DEDICATE TO VDOT FOR PUBLIC STREET PURPOSES TO ALLOW FOR THE WIDENING OF CENTREVILLE ROAD AS SHOWN HEREIN (PRESENTLY UNDER CONSTRUCTION). (SEE TABULATION REGARDING ESTIMATED AREA TO BE DEDICATED.)
- ON SITE & OFF-SITE INTERSECTIONS:** SEE PROFFERS AND FIGURES 1 & 2 (THIS SHEET)
- UTILITY EASEMENTS:** TO THE BEST OF THE APPLICANT'S KNOWLEDGE AND BELIEF, THERE ARE TWO UTILITY EASEMENTS ON THE PROPERTY HAVING A WIDTH OF 25 FEET OR MORE. ONE, A 40-FOOT-WIDE COLUMBIA GAS EASEMENT, CROSSES THE SOUTHEAST CORNER OF THE SITE. THE OTHER, A PROPOSED 40-FOOT-WIDE COLUMBIA GAS EASEMENT, WILL GENERALLY FOLLOW THE SITE'S NORTHERN LOT LINE WHOLLY WITHIN THE SITE.
- WATER/SEWER:** PUBLIC WATER AND SANITARY SEWER IS AVAILABLE TO SERVICE THE DEVELOPMENT.
- MODIFICATION/WAIVER REQUESTS:** THE PROPOSED USE SHALL BE IN CONFORMANCE WITH ALL APPLICABLE ORDINANCES, REGULATIONS, ADOPTED STANDARDS, WITH THE EXCEPTION OF:
  - LOADING:** A MODIFICATION OF SEC. 11-202.10 AND 11-203.4 FOR LOADING SPACES TO ALLOW FEWER SPACES, AS SHOWN ON THE CDP/FDP.
  - TRANSITIONAL SCREENING:** A MODIFICATION OF THE TRANSITIONAL SCREEN YARD PLANTING REQUIREMENT AND A WAIVER OF THE BARRIER REQUIREMENT BETWEEN THE PROPOSED RESIDENTIAL USES AND OFF-SITE SINGLE FAMILY DETACHED USES TO PROVIDE ALTERNATE ENHANCED LANDSCAPING AS SHOWN ON 'CENTREVILLE ROAD BUFFER PLANS' PURSUANT TO SECTION 13-302.1.
  - CENTREVILLE ROAD CONSTRUCTION:** A WAIVER OF THE COMPREHENSIVE TRANSPORTATION PLAN'S RECOMMENDATION FOR SIX (6) LANE WIDENING OF CENTREVILLE ROAD AS REQUIRED UNDER SEC. 11-201 PARA. 4.
  - INTERPARCEL ACCESS:** A WAIVER OF THE INTERPARCEL ACCESS REQUIREMENT TO THE ADJOINING EDS CAMPUS AND EXISTING OFFICE USES.
  - PRIVATE STREETS:** A MODIFICATION TO SEC. 11-302 PARA. 2 TO ALLOW PRIVATE STREETS IN EXCESS OF 600 LINEAR FEET IN LENGTH.
- STORM WATER MANAGEMENT/BEST MANAGEMENT PRACTICES (SWM/BMP):** SEE PRELIMINARY SWM PLAN AND OUTFALL ANALYSIS.
- CLEARING AND GRADING:** IT IS NOTED THAT THE LIMITS OF CLEARING AND GRADING ARE TO THE PROPERTY LINES EXCEPT WHERE INDICATED TO PROVIDE OFF-SITE PUBLIC IMPROVEMENTS.
- LANDSCAPING/BUFFERING:** STREET TREES WILL BE PROVIDED AS SHOWN ON THE TYPICAL STREET SECTIONS AND ARCHITECTURAL DESIGN GUIDELINES. LANDSCAPING IS ALSO PROVIDED ALONG THE PERIMETER OF THE PROPERTY TO PROVIDE A BUFFER ALONG CENTREVILLE ROAD. IN KEEPING WITH THE COMPREHENSIVE PLAN RECOMMENDATION, THE SUBMISSION WILL MEET OR EXCEED THE PROVISIONS OF ARTICLE 13 OF THE ZONING ORDINANCE FOR TREE COVERAGE.
- GRAVES:** TO THE BEST OF OUR KNOWLEDGE THERE ARE NO GRAVES OR PLACES OF BURIAL ON THE PROPERTY.
- LIGHTING/SOUND:** IT IS THE INTENT OF THE APPLICANT TO ABIDE BY ANY AND ALL APPLICABLE PROVISIONS OF ARTICLE 14 (PERFORMANCE STANDARDS), WHERE REQUIRED AND IF NECESSARY, THE APPLICANT INTENDS TO PROVIDE PEDESTRIAN-SCALE STREET LIGHTS IN LIEU OF STANDARD STREET LIGHTS ALONG ALL PRIVATE STREETS. FURTHER, NO LOUDSPEAKER SYSTEM WILL BE UTILIZED ON THE SUBJECT SITE.
- SIGNAGE:** PROPOSED ENTRANCE SIGNS SHOWN HEREON WILL COMPLY WITH THE PROVISIONS OF ARTICLE 12.
- HAZMAT:** TO THE BEST OF THE APPLICANT'S KNOWLEDGE AND BELIEF, THERE ARE NO HAZARDOUS OR TOXIC SUBSTANCES (AS SET FORTH IN TITLE 40, CODE OF FEDERAL REGULATIONS (CFR) PARTS 116.4, 302.4, AND 305, COMMONWEALTH OF VIRGINIA/DEPARTMENT OF WASTE MANAGEMENT REGULATIONS VR 612-10-1-VIRGINIA HAZARDOUS WASTE MANAGEMENT REGULATIONS, AND/OR PETROLEUM PRODUCTS AS DEFINED IN TITLE 40, CFR PART 260) OR STORAGE TANKS OR CONTAINERS ON-SITE. SUCH SUBSTANCES WILL NOT BE GENERATED, UTILIZED, STORED, TREATED, AND/OR DISPOSED OF ON-SITE. IN THE EVENT THAT SUCH SUBSTANCES ARE FOUND TO BE ON-SITE, THEY WILL BE DISPOSED OF IN AN APPROPRIATE MANNER.

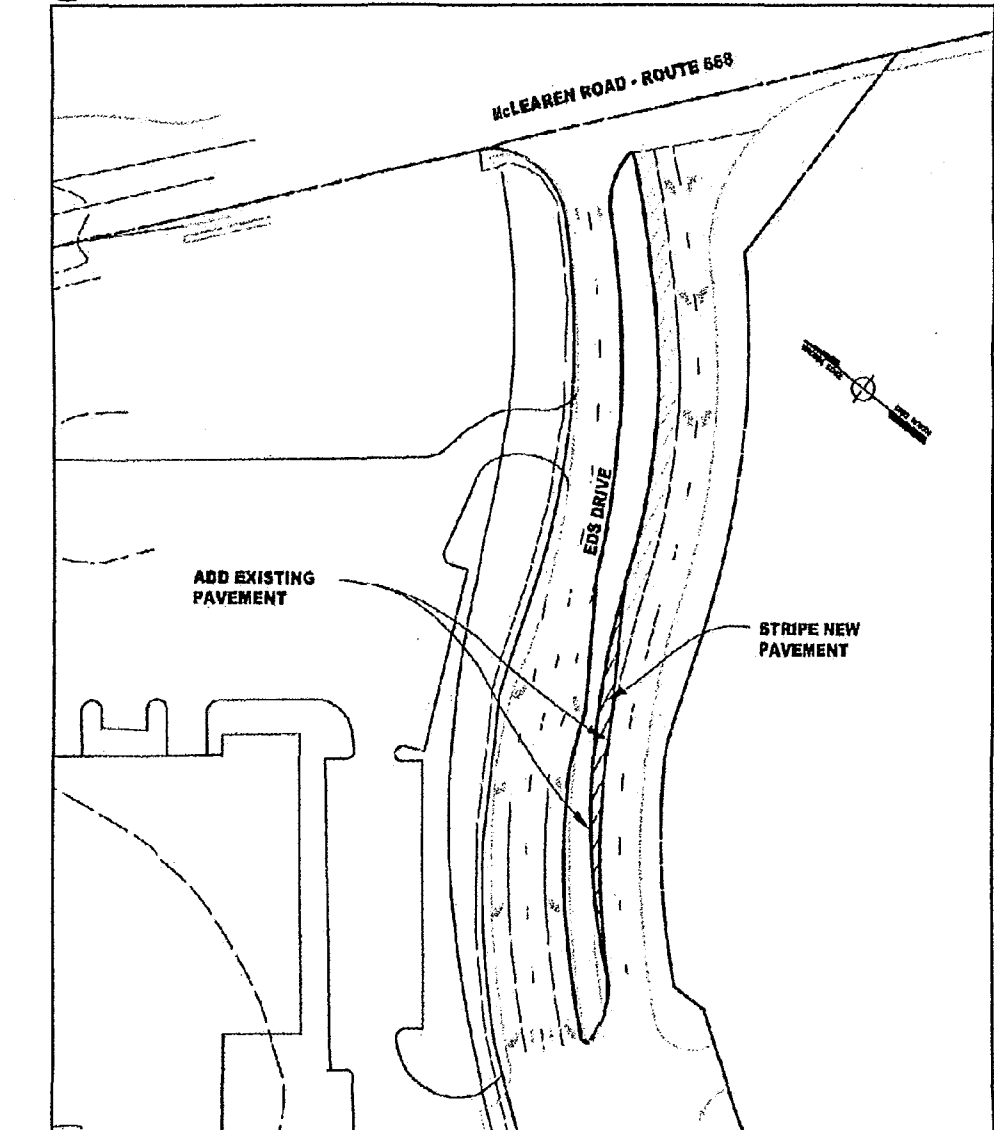
- PARKING SPACES, SURFACE, STRUCTURED (DECK), AND ON-STREET PARKING SPACES FOR VISITOR AND PROPOSED USES ARE PROVIDED IN ACCORDANCE WITH ART. II. THE APPLICANT RESERVES THE RIGHT TO ADJUST (REDUCE OR INCREASE) THE PARKING PROVIDED BASED ON CORRESPONDING REDUCTIONS OR INCREASES IN USES PROVIDED.**
- DEVELOPMENT PHASING:** SEE PROFFERS - AN EXACT DEVELOPMENT TIMETABLE OR SCHEDULE IS UNKNOWN SINCE IT WILL BE BASED ON FUTURE RESIDENTIAL OCCUPANT AND TENANT NEEDS, FUNDING, AND PRODUCT ABSORPTION BY THE MARKET.
- SITE FEATURES:** ADDITIONAL SITE FEATURES SUCH AS TRASH DUMPSTERS, INFO KIOSKS, BICYCLE RACKS, FOUNTAINS, GAZEBOS, AREBORS, PLANTERS, AND WALLS AND FENCING NOT REPRESENTED HEREON MAY BE PROVIDED. ARCHITECTURAL FEATURES SUCH AS BALCONIES AND STAIRWELLS MAY ALSO BE PROVIDED.
- EVM:** AN EXISTING VEGETATION MAP (EVM) HAS BEEN PROVIDED UNDER SEPARATE COVER SINCE CONSTRUCTING THE SITE IMPROVEMENTS WILL NECESSITATE THE DISTURBANCE OF AN AREA GREATER IN SIZE THAN 2500 SQUARE FEET.
- SCENIC ASSETS/EXISTING STRUCTURES:** A WETLANDS SWALE IS LOCATED ALONG THE NORTHERN EDGE OF THE PROPERTY. THE SITE CONTAINS NO OTHER NATURAL FEATURES OR SCENIC ASSETS DESERVING OF PROTECTION AND PRESERVATION (SEE CDP/FDP). THERE ARE NO EXISTING BUILDINGS ON SITE.
- ADUs:** THE APPLICANT WILL PROVIDE AFFORDABLE DWELLING UNITS (ADUs) IN ACCORDANCE WITH SEC. 2-800 OF THE ZONING ORDINANCE. ACTUAL ADU CALCULATIONS WILL BE BASED ON FINAL MIX OF NON-ELEVATOR-SERVED AND ELEVATOR-SERVED MULTIFAMILY DWELLINGS AND A DETERMINATION OF BUILDINGS THAT ARE LESS THAN THREE STORIES AND/OR MORE THAN FOUR STORIES IN HEIGHT. THEREFORE, THE FINAL ADU QUANTITIES REFLECTED IN THE ADU TABULATIONS ON SHEETS 3 AND 6 MAY CHANGE. SEE PROFFER (4) REGARDING THE MINIMUM ADUs TO BE PROVIDED.
- RMA/RFA/EGCs:** THE ENTIRE SITE LIES WITHIN A RESOURCE MANAGEMENT AREA (RMA). NO PORTION OF THE SITE LIES WITHIN A RESOURCE PROTECTION AREA (RPA). THERE ARE NO EGCs ON THE PROPERTY.
- SOILS:** THE FAIRFAX COUNTY SOILS MAP IS SHOWN ON THE COVER SHEET (SHEET 1).
- BLOCK & BUILDING ADJUSTMENTS:** THE 'DEVELOPMENT TABULATION BY BLOCK' DEPICTS THE PROPOSED USE(S) FOR EACH BUILDING AND PROVIDES A SUBTOTAL ESTIMATE OF THE BUILDING GROSS SQUARE FOOTAGE (GSF) WITHIN EACH OF THE TEN (10) COMMUNITY BLOCKS IDENTIFIED HEREIN. THE BLOCK GSF SUBTOTALS WERE USED FOR ESTIMATING PARKING AND LOADING COUNTS (SEE PROFFER REGARDING PHASING AND DESIGN MODIFICATIONS).
- SUBDIVISION:** THE APPLICANT MAY SUBDIVIDE THE PROPERTY, SUCH SUBDIVISION LINES WILL BE DETERMINED BUT SHALL GENERALLY FOLLOW THE PROPOSED TRAVEL LANES THAT DEFINE EACH OF THE TEN (10) BLOCKS.



1 McLEAREN ROAD & CENTREVILLE ROAD RIGHT TURN LANE IMPROVEMENTS NOT TO SCALE



2a EDS DRIVE & McLEAREN ROAD WITH TRAFFIC LIGHT LEFT TURN LANE IMPROVEMENTS NOT TO SCALE



2b EDS DRIVE & McLEAREN ROAD WITHOUT TRAFFIC LIGHT INTERIM LEFT TURN LANE IMPROVEMENTS NOT TO SCALE

**OVERALL TABULATION:**

EXISTING ZONING	I-5 (INDUSTRIAL) WITH PROFFERS, U5 (WATERSHED PROTECTION OVERLAY DISTRICT), FRM1	
PROPOSED ZONING	FRM1	
SITE AREA SUBJECT TO REZONING (1)	66.88± AC. OR 2,913,448± SF (EXCLUDING AREA FOR BALLFIELD)	
CENTREVILLE ROAD ROW DEDICATION	-3.02± AC. OR 130,236± SF	
NET SITE AREA	63.86± AC. OR 2,783,212± SF	
TOTAL FLOOR AREA RATIO (ALLOWED)	1.0 (I-5 ZONE DISTRICT, 2,913,448 GSF MAX.)	
TOTAL FLOOR AREA RATIO (PROPOSED, W/O ADUs + BONUS DENSITY)	0.55 (for 1,534,050± GSF) 0.64 (for 1,801,850± GSF) (both in FRM1 ZONE DISTRICT)	
TOTAL FLOOR AREA RATIO (PROPOSED, W/ ADUs + BONUS DENSITY)	0.53 (for 1,729,150± GSF) 0.63 (for 2,029,050± GSF) (both in FRM1 ZONE DISTRICT)	
PROPOSED GROSS SQUARE FOOTAGE (GSF)	BASE/MIN.	ALTERNATE/MAX.
MIXED USE COMMERCIAL/RETAIL (INCL. GROCERY, RESTAURANT, ETC.)	98,350± GSF	107,350± GSF
OFFICE (MIXED USE OFFICE)	40,600± GSF	40,600± GSF
(FREE STANDING OFFICE)	32,120± GSF	600,000± GSF
RESIDENTIAL (1,000± DU ± 1,150± AVG. GSF EA.) (2)	1,133,900± GSF	1,133,900± GSF
SUB-TOTAL BUILDING GSF (FOR F.A.R. CALCULATIONS) (2)	1,594,050± GSF	1,801,850± GSF
RESIDENTIAL (ADUs + BONUS DENSITY, @ 1,150± AVG. GSF EA.)	135,700± GSF	147,200± GSF
TOTAL BUILDING GSF	1,729,750± GSF	2,029,050± GSF
RESIDENTIAL DENSITY (W/O ADUs & BONUS UNITS, USING OVERALL SITE AREA)	14.95± DU/AC.(2)	14.95± DU/AC.(2)
RESIDENTIAL DENSITY (W/ ADUs & BONUS UNITS, USING OVERALL SITE AREA)	17.18± DU/AC.	17.33± DU/AC.
NO. OF MULTI-FAMILY RESIDENTIAL UNITS PROPOSED	1,149± - 1,193± DU (INCLUDES UP TO 51-59 ADUs, SEE GENL. NOTE 25 THIS SHEET.)	
INCLUDES TOWNHOME-STYLE UNITS, FLAT-STYLE UNITS, AND LIVE/WORK-STYLE UNITS.		
FRM1 OPEN SPACE REQ'D.	20% (13.38± AC, OR 582,833± SF)	
FRM1 OPEN SPACE PROVIDED	31% (24.8± AC, OR 1,080,100± SF) (4)	

**FOOTNOTES:**

- A PORTION OF THE BALLFIELD LAND TO BE RELOCATED LIES OUTSIDE OF THE PROPOSED FRM1 REZONING LIMITS.
  - DENSITY & ADU CALCULATIONS ARE BASED ON 1000 DUs AVERAGING 1150± SF EACH. GSF ATTRIBUTABLE TO ADUs AND BONUS UNITS ARE NOT INCLUDED IN F.A.R. CALCULATION BY DEFINITION.
  - ACTUAL NUMBER OF UNITS (EXCLUDING ADUs AND BONUS UNITS) MAY RANGE FROM 950 DUs TO 1,000 DUs, & WILL BE DETERMINED BASED ON DWELLING SIZE AND MIX OF 1, 2, AND 3 BEDROOM UNITS.
  - LANDSCAPED OPEN SPACE INCLUDES ON-SITE AREAS (WITHIN ZONING LIMITS) SUCH AS COURTYARDS, PLAZA AREAS, AND POCKET PARKS THAT TOTAL APPROXIMATELY 16.8 ACRES OF THE TOTAL 24.8 ACRES SHOWN ABOVE.
- \* PROPOSED GSF IS STATED IN A RANGE TO ALLOW ARCHITECTURAL DESIGN FLEXIBILITY BASED ON MARKET DEMANDS.

**PARKING, LOADING, & BULK TABULATION:**

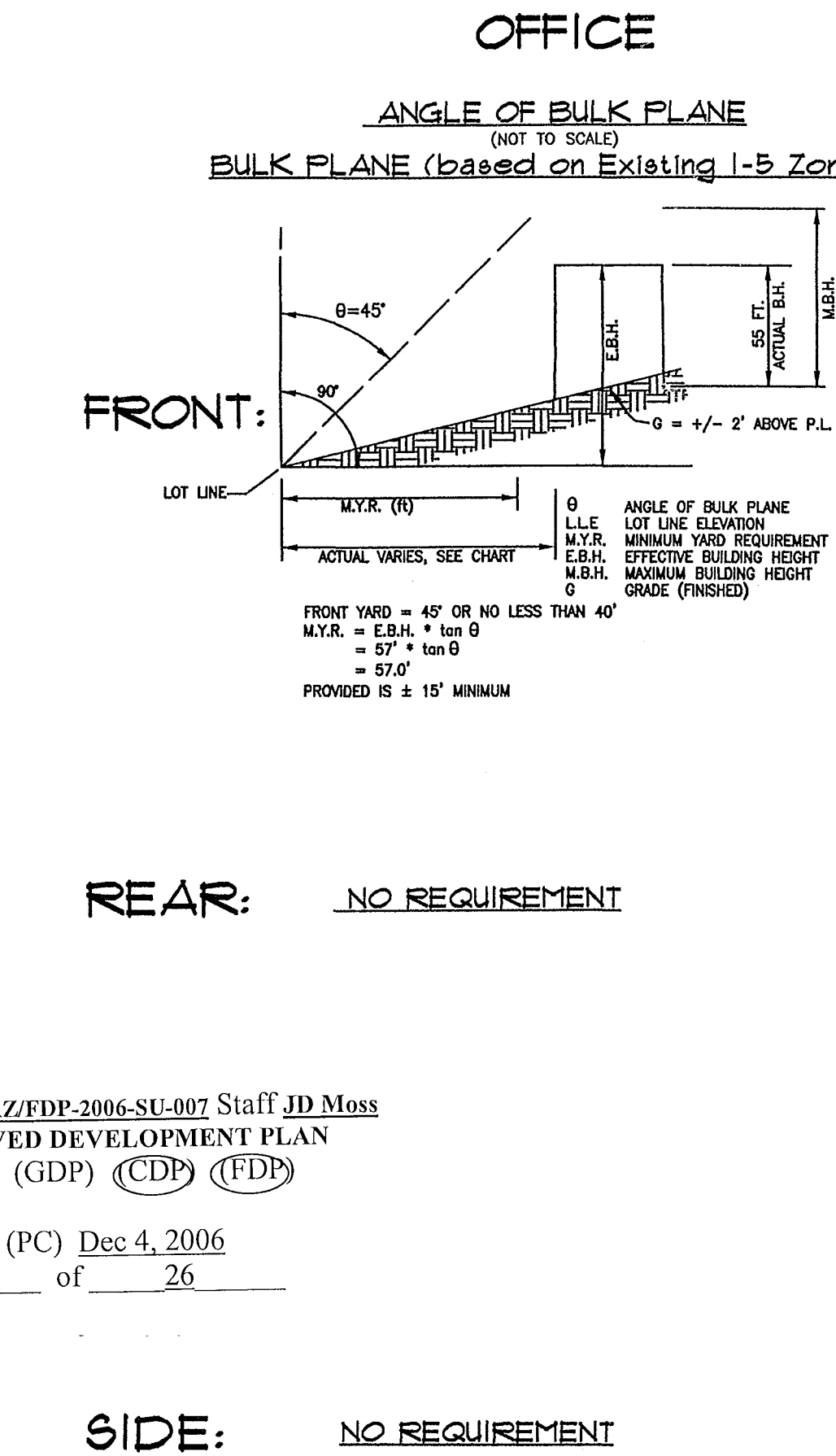
FOR INFORMATION ON PARKING AND LOADING SPACES PROVIDED BY USE SEE THE 'DEVELOPMENT TABULATION BY BLOCK' PRESENTED ON SHEETS 3 AND 6.

SECONDARY USES TO BE ESTABLISHED AT TIME OF SITE PLAN

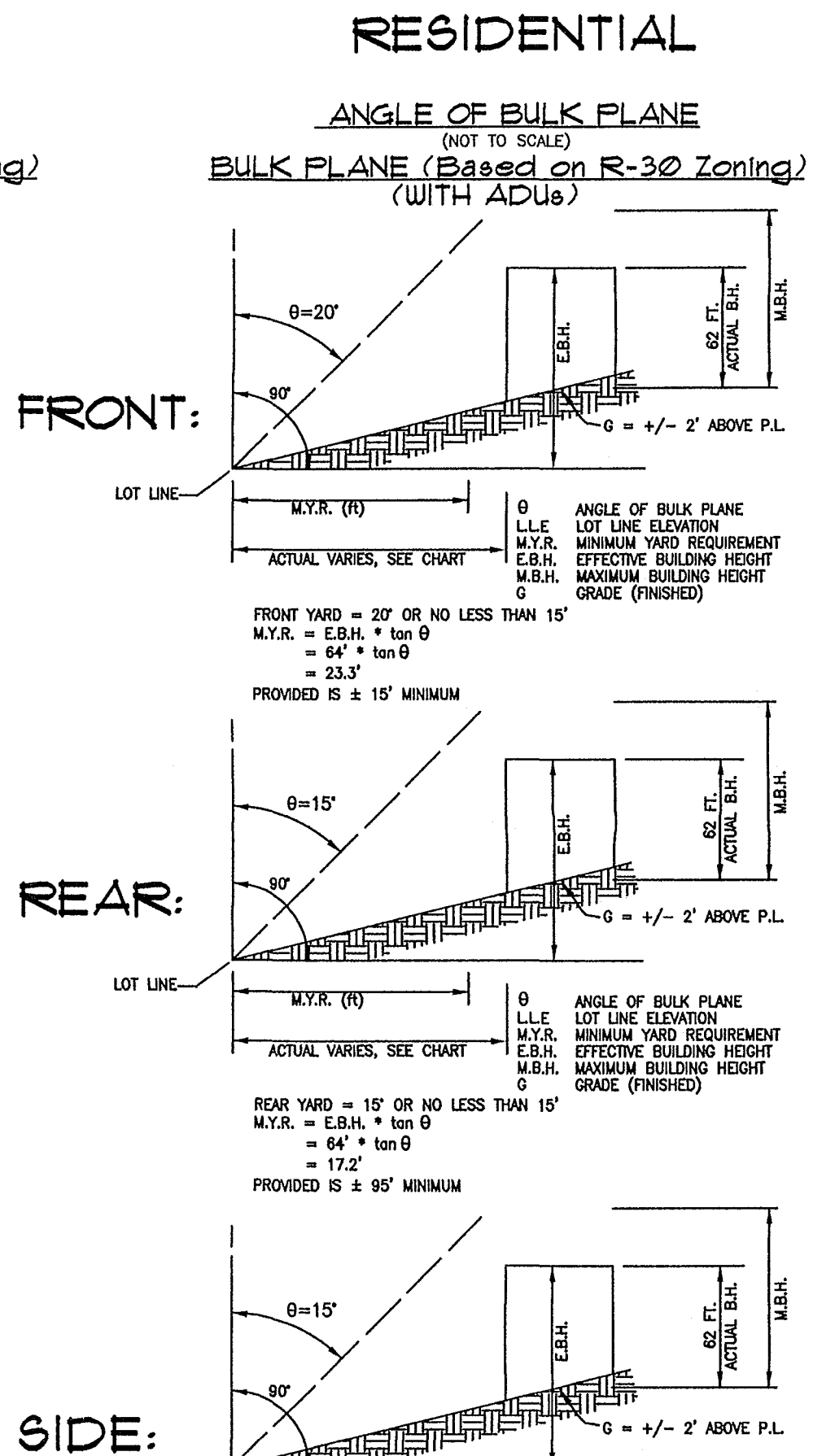
NUMBER OF STORIES/HEIGHT AS SHOWN ON PLAN (SHEETS 3 AND 6)

YARD REQUIREMENTS SETBACKS AS SHOWN - SHEET 4, 5, 7 AND 8 SEE BULK PLANE DETAIL THIS SHEET

\* SEE PROFFERS REGARDING MIN. PARKING PROVIDED



OFFICE BULK PLANE (based on Existing I-5 Zoning)



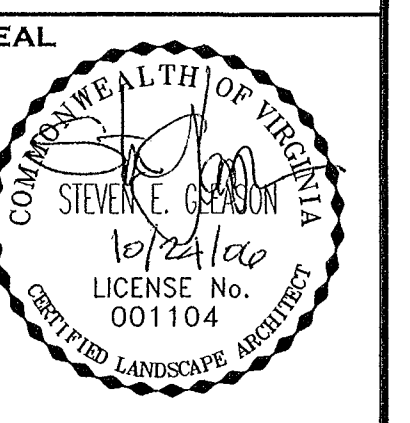
RESIDENTIAL BULK PLANE (Based on R-30 Zoning) (WITH ADUs)

Application No RZ/FDP-2006-SU-007 Staff JD Moss  
 APPROVED DEVELOPMENT PLAN  
 (DP) (GDP) (CDP) (FDP)

Date of (ROS) (PC) Dec 4, 2006  
 Sheet 2 of 26

**William H. Gordon Associates, Inc.**  
 4501 Dolly Drive  
 Chantilly, VA 20151  
 PHONE 703-263-1900  
 FAX 703-263-0766

ENGINEERS - SURVEYORS - PLANNERS - LANDSCAPE ARCHITECTS



**REVISIONS**

JANUARY 30, 2006
MARCH 20, 2006
APRIL 21, 2006
JUNE 30, 2006
AUGUST 18, 2006
SEPT. 1, 2006
SEPT. 15, 2006
OCTOBER 9, 2006
OCTOBER 24, 2006

NOTES / TABULATION

**EDS / LINCOLN PROPERTY**  
 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE N/A

DATE FEBRUARY 1, 2006

DRAWN DK/NY/OFS

CHECKED SEG

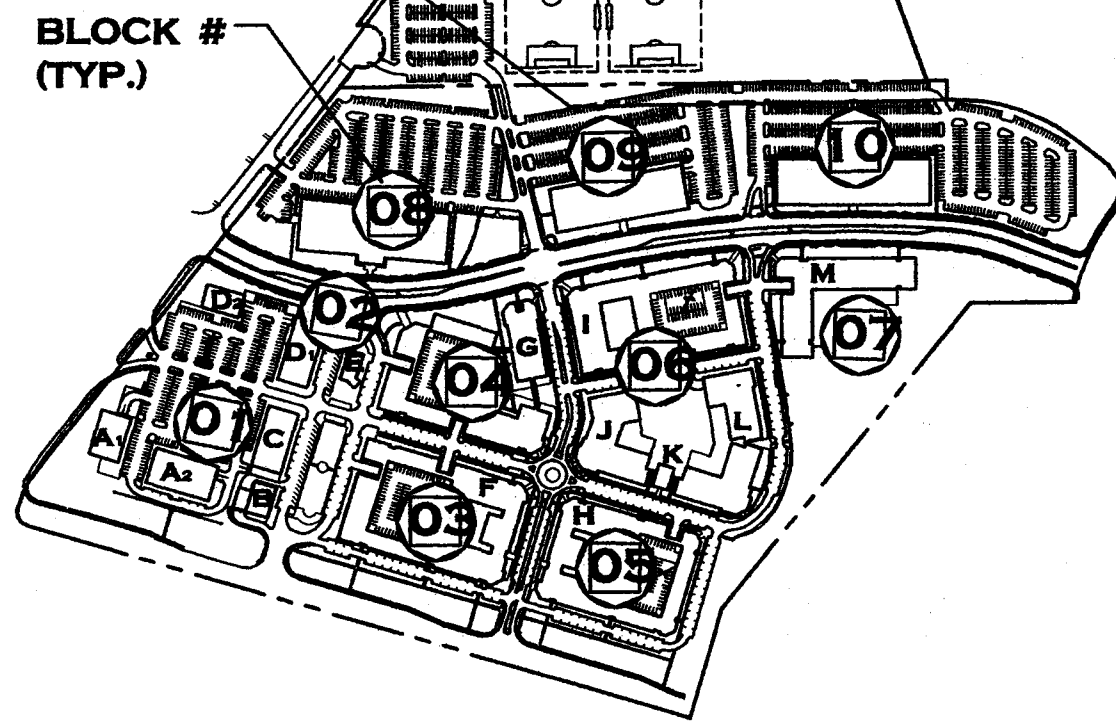
JOB # 0640-1518

CAD FILE 0640-NT.dwg

SHEET # 2 OF 26



**BLOCK KEY MAP**



**PROPOSED DULLES DISCOVERY**  
 RZ 2005-SU-026  
 SE 2005-SU-023

SULLY ROAD - ROUTE 28

AREA TO REMAIN I-5

± 11.0 AC. RECREATION AREA  
 SEE ATHLETIC FIELDS PLAN

DULLES INTERNATIONAL  
 CENTRE VENTURE

Application No RZ/FDP-2006-SU-007 Staff JD Moss  
 APPROVED DEVELOPMENT PLAN  
 (DP) (GDP) (CDP) (FDP)

Date of (RGS) (PC) Dec 4, 2006  
 Sheet 3 of 26

ENLARGEMENT SEE WALL  
 ROAD BUFFER PLAN  
 SHEET 25

SEE SHEET 2  
 FOR PROPOSED  
 EDS DRIVE LEFT  
 TURN LANE

EDS DRIVE  
 ROUTE 2125

MCLEAREN ROAD  
 ROUTE 668

CENTREVILLE ROAD - ROUTE 657

SEE SHEET 2 FOR  
 PROPOSED MCLEAREN  
 ROAD RIGHT TURN LANE

AREA TO BE REZONED  
 TO FR1 - 66.88 AC

RESIDENTIAL  
 CONVERTIBLE TO  
 RETAIL

SEE COLLECTOR ROAD  
 PEDESTRIAN  
 ENHANCEMENTS AND  
 STREETSCAPE

TOWN CENTER GREEN  
 ENLARGEMENT SEE  
 SITE AMENITIES

AREA TO BE REZONED  
 TO FR1 - 66.88 AC

ENLARGEMENT SEE  
 CENTREVILLE ROAD BUFFER  
 PLAN, SHEETS 19 & 20

**Development Tabulation by Block**

Block	Bldg. (footnote)	Use	Commercial (Retail) GSF	MFRes GSF	Commercial (Office) GSF	No. MF units (avg. sf)	Height	No stories	Parking Req'd (1)	Parking Provided On-street	Deck	Total	Loading Spaces
Block 1	A	Retail	18,000				25'	1	64	232			2
	B	Office	5,000				50'	2	13				
	C	Retail	20,000		5,000		50'	2	80				
<b>Total Block 1</b>			<b>41,000</b>		<b>20,000</b>				<b>228</b>	<b>232</b>		<b>232</b>	<b>2</b>
Block 2	D1	Retail	15,800		15,800		50'	2	63	123			1
	D2	Retail	7,500				50'	1	30				
	E (2)	Retail	3,500				25'	1	14				
<b>Total Block 2</b>			<b>26,800</b>		<b>15,800</b>				<b>148</b>	<b>123</b>		<b>123</b>	<b>2</b>
Block 3 (B)	F	Retail	16,750				62'	1	67	73			
	F (2)	MF Residential		230,000		200		4	320		403		1
<b>Total Block 3</b>			<b>16,750</b>	<b>230,000</b>		<b>200</b>			<b>387</b>	<b>73</b>		<b>460</b>	<b>1</b>
Block 4 (B)	G	Retail	14,000				62'	1	56	38			
	G (2)	MF Residential		187,800		146		4	234		403		1
<b>Total Block 4</b>			<b>14,000</b>	<b>187,800</b>		<b>146</b>			<b>290</b>	<b>38</b>		<b>403</b>	<b>1</b>
Block 5	H (2)	MF Residential		238,050		240		4	364	60	335		1
	H (2)	MF Residential		238,050		240		4	364	60	335		1
<b>Total Block 5</b>				<b>476,100</b>		<b>480</b>			<b>728</b>	<b>120</b>	<b>670</b>		<b>2</b>
Block 6	I (3)	MF Residential		244,850		240		4	354	58	335		
	J (3)	MF Residential		42,550		55		4	88		125		
	K (3)	MF Recreation (2500)				20		1	0				
	L (3)	MF Residential		57,500		80		4	128		125		1
<b>Total Block 6</b>				<b>344,900</b>		<b>375</b>			<b>600</b>	<b>58</b>	<b>585</b>		<b>1</b>
Block 7	M (2)	MF Residential		182,850		188		4	301	20	300		1
	M (2)	MF Residential		182,850		188		4	301	20	300		1
<b>Total Block 7</b>				<b>365,700</b>		<b>376</b>			<b>602</b>	<b>40</b>	<b>600</b>		<b>2</b>
<b>SubTotal</b>			<b>88,350</b>	<b>1,133,900</b>	<b>40,800</b>	<b>1149</b>			<b>2338</b>	<b>888</b>	<b>2,028</b>	<b>2,832</b>	<b>9</b>
Block 8	Note 4	Office			110,000		30'	2	288		408		3
	Note 4	Office			94,000		30'	2	245		380		2
	Note 4	Office			117,200		45'	3	306		504		2
	Note 4	Office			321,200		68'	3	638		1270		7
<b>Total Blocks 8-10</b>					<b>642,400</b>				<b>1477</b>		<b>1912</b>		<b>12</b>
<b>Grand Total</b>			<b>88,350</b>	<b>1,133,900</b>	<b>361,800</b>	<b>1149</b>			<b>3176</b>	<b>1876</b>	<b>2,028</b>	<b>3,862</b>	<b>18</b>
<b>Gross Floor Area (GFA) for all uses</b>			<b>1,884,000</b>										
<b>GFA Percentage by Land Use</b>			<b>8%</b>	<b>71%</b>	<b>23%</b>								

**Footnotes**

- Parking estimates are based on retail, multifamily residential, and office uses. The applicant reserves the right to park the mixed-use density based on "shopping center" designation at time of final Site Plan.
- Retail at 1 story; may increase to 2 stories (3,500sf increase)
- Average dwelling unit size for Multiple-Family residential units is 1,150sf - 1,200sf.
- Parking required/provided based on maximum 2.8 sp/1000 sf ratio.
- The above totals for residential could be reduced by as much as 19,450 sf (+/-) if converted to retail use.
- Includes up to 57 ADU units plus bonus units. See proffer (16) regarding the minimum ADUs to be provided.

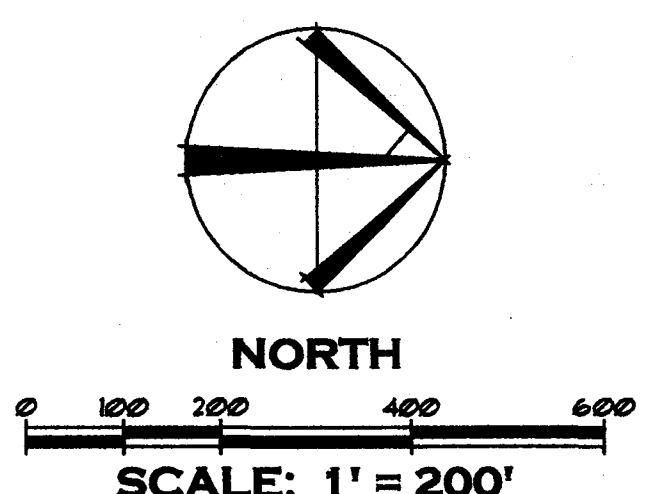
**Req'd Parking Ratios:**  
 Retail: 4 sp/1000  
 MF: 1.6 sp/DU  
 Office: 3.0 sp/1000sf; 50,000 sf to 125,000 sq ft; 2.6 sp/1000sf; greater than 125,000sf

**LEGEND**

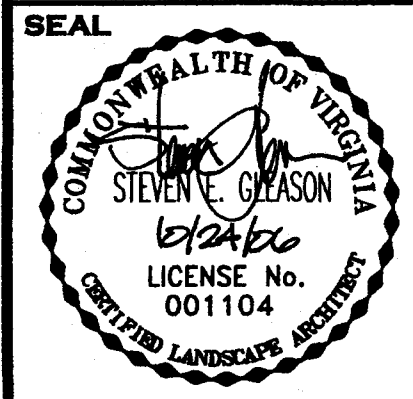
INDICATES ADDITIONAL RETAIL AND OTHER COMMERCIAL USES REFLECTED IN DEVELOPMENT TABULATION BY BLOCK (SEE FOOTNOTE).

**ENVELOPE**  
 BUILDING ENVELOPE  
 NOTE: THE BUILDING FOOTPRINT CAN BE LOCATED ANYWHERE WITHIN THE BUILDING ENVELOPE. THE BUILDING FOOTPRINT FOR BLOCKS 3, 4, 5 & 6 MAY BE LOCATED ANYWHERE WITHIN THE STREET BLOCK PROVIDED THE ADJACENT COURTYARDS AND WALKWAYS ARE MAINTAINED AS GENERALLY SHOWN ON THE DETAILS PROVIDED HEREIN.

**FOOTPRINT**  
 BUILDING FOOTPRINT  
**NOTES:** SEE PROFFERS REGARDING PHASING OF USES.  
 SEE GENERAL NOTE #29 ON SHEET 2 REGARDING POSSIBLE SUBDIVISION OF THE BLOCKS.



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 ENGINEERS - SURVEYORS - PLANNERS - LANDSCAPE ARCHITECTS



**REVISIONS**

JANUARY 30, 2006
MARCH 20, 2006
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AUGUST 18, 2006
SEPT. 1, 2006
SEPT. 15, 2006
OCTOBER 9, 2006
OCTOBER 24, 2006

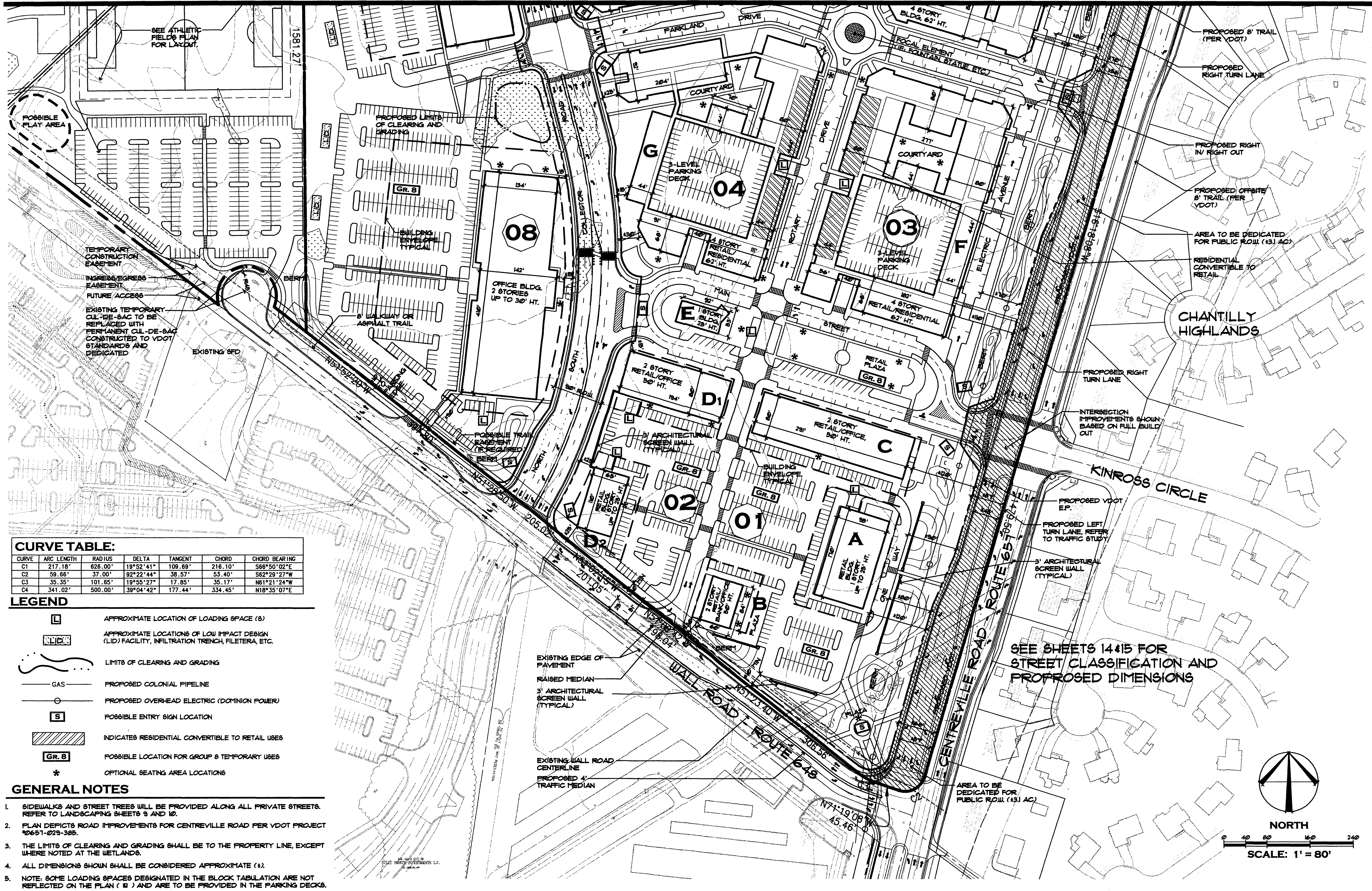
**SITE CONTEXT / OVERALL MASTER PLAN**  
**EDS / LINCOLN PROPERTY**  
 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

**SCALE** 1" = 200'  
**DATE** FEBRUARY 1, 2006  
**DRAWN** DK/NY/OFS  
**CHECKED** SEG  
**JOB #** 0640-1518  
**CAD FILE** 0640-OV.dwg  
**SHEET #** 3 OF 26

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MATCHLINE - SEE SHEET 5



**CURVE TABLE:**

CURVE	ARC LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C1	217.18'	626.00'	19°52'41"	109.69'	216.10'	S66°50'02"E
C2	59.66'	37.00'	92°22'44"	38.57'	53.40'	S62°29'27"W
C3	35.35'	101.65'	19°55'27"	17.85'	35.17'	N61°21'24"W
C4	341.02'	500.00'	39°04'42"	177.44'	334.45'	N18°35'07"E

- LEGEND**
- APPROXIMATE LOCATION OF LOADING SPACE (S)
  - APPROXIMATE LOCATIONS OF LOW IMPACT DESIGN (LID) FACILITY, INFILTRATION TRENCH, FILETERA, ETC.
  - LIMITS OF CLEARING AND GRADING
  - GAS
  - PROPOSED OVERHEAD ELECTRIC (DOMINION POWER)
  - POSSIBLE ENTRY SIGN LOCATION
  - INDICATES RESIDENTIAL CONVERTIBLE TO RETAIL USES
  - POSSIBLE LOCATION FOR GROUP 8 TEMPORARY USES
  - OPTIONAL SEATING AREA LOCATIONS

- GENERAL NOTES**
- SIDEWALKS AND STREET TREES WILL BE PROVIDED ALONG ALL PRIVATE STREETS. REFER TO LANDSCAPING SHEETS 9 AND 10.
  - PLAN DEPICTS ROAD IMPROVEMENTS FOR CENTREVILLE ROAD PER VDOT PROJECT 06691-029-305.
  - THE LIMITS OF CLEARING AND GRADING SHALL BE TO THE PROPERTY LINE, EXCEPT WHERE NOTED AT THE WETLANDS.
  - ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE (±).
  - NOTE: SOME LOADING SPACES DESIGNATED IN THE BLOCK TABULATION ARE NOT REFLECTED ON THE PLAN (B) AND ARE TO BE PROVIDED IN THE PARKING DECKS.

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 ENGINEERS - SURVEYORS - PLANNERS - LANDSCAPE ARCHITECTS

**SEAL**  
 COMMONWEALTH OF VIRGINIA  
 STEVEN E. GLEASON  
 10/24/06  
 LICENSE No. 001104  
 REGISTERED LANDSCAPE ARCHITECT

**REVISIONS**

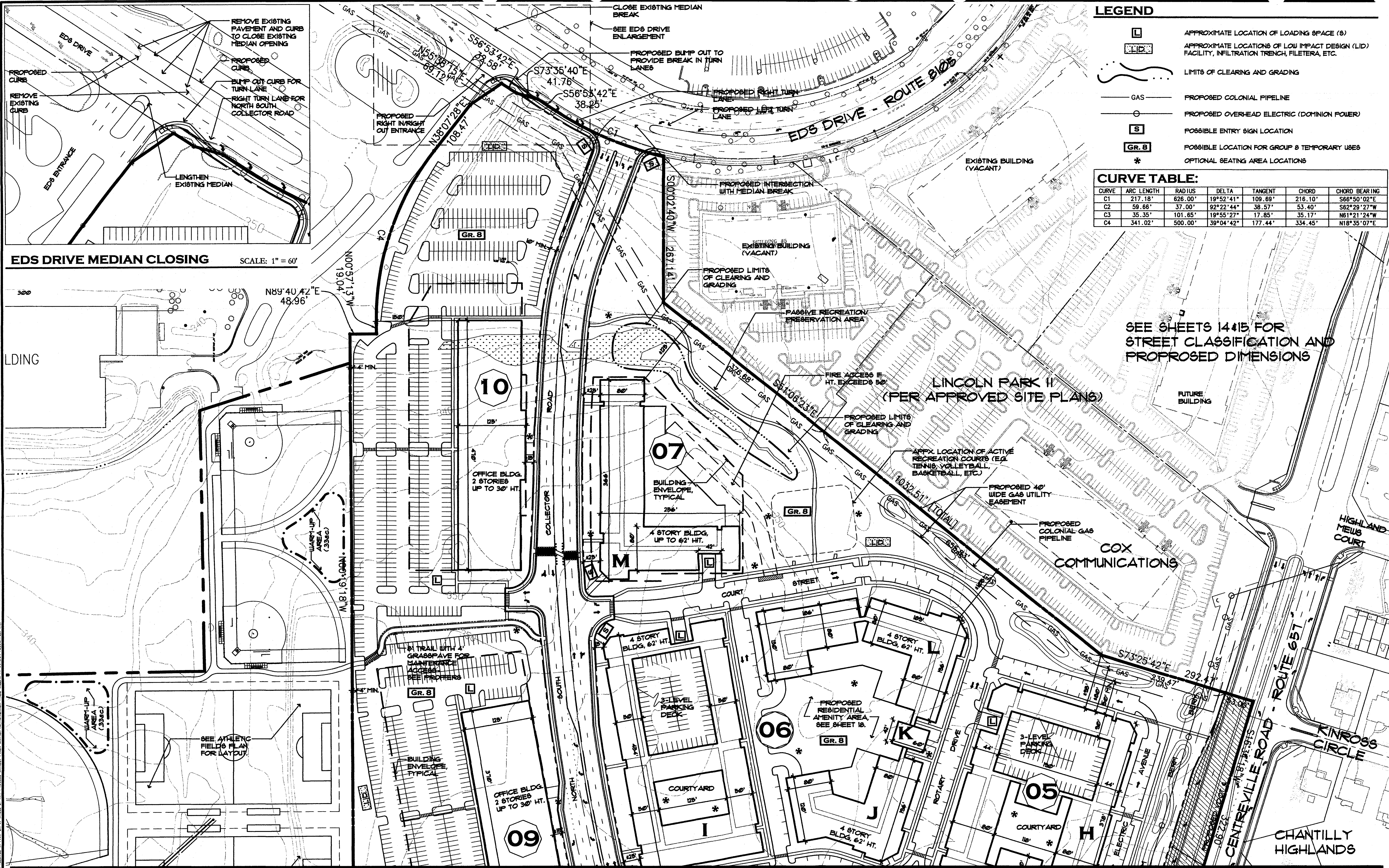
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JUNE 30, 2006
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SEPT. 1, 2006
SEPT. 15, 2006
OCTOBER 9, 2006
OCTOBER 24, 2006

**EDS / LINCOLN PROPERTY**  
 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

CDP / FDP

SCALE 1"=80'  
 DATE FEBRUARY 1, 2006  
 DRAWN DK/NY/OFS  
 CHECKED SEG  
 JOB # 0640-1518  
 CAD FILE 0640-CDP.dwg  
 SHEET # 4 OF 26





**LEGEND**

- APPROXIMATE LOCATION OF LOADING SPACE (S)
- APPROXIMATE LOCATIONS OF LOW IMPACT DESIGN (LID) FACILITY, INFILTRATION TRENCH, FILTERA, ETC.
- LIMITS OF CLEARING AND GRADING
- GAS
- PROPOSED COLONIAL PIPELINE
- PROPOSED OVERHEAD ELECTRIC (DOMINION POWER)
- POSSIBLE ENTRY SIGN LOCATION
- POSSIBLE LOCATION FOR GROUP B TEMPORARY USES
- OPTIONAL SEATING AREA LOCATIONS

**CURVE TABLE:**

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C4	341.02'	500.00'	39°04'42"	177.44'	334.45'	N18°35'07"E

**EDS DRIVE MEDIAN CLOSING** SCALE: 1" = 60'

SEE SHEETS 1415 FOR STREET CLASSIFICATION AND PROPOSED DIMENSIONS

**LINCOLN PARK II**  
(PER APPROVED SITE PLANS)

**William H. Gordon Associates, Inc.**  
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Chantilly, VA 20151  
PHONE 703-263-1900  
FAX 703-263-0766

ENGINEERS - SURVEYORS - PLANNERS - LANDSCAPE ARCHITECTS

**SEAL**

**REVISIONS**

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OCTOBER 9, 2006
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CDP / FDP

**EDS / LINCOLN PROPERTY**  
SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE 1"=80'

DATE FEBRUARY 1, 2006

DRAWN DK/NY/OFS

CHECKED SEG

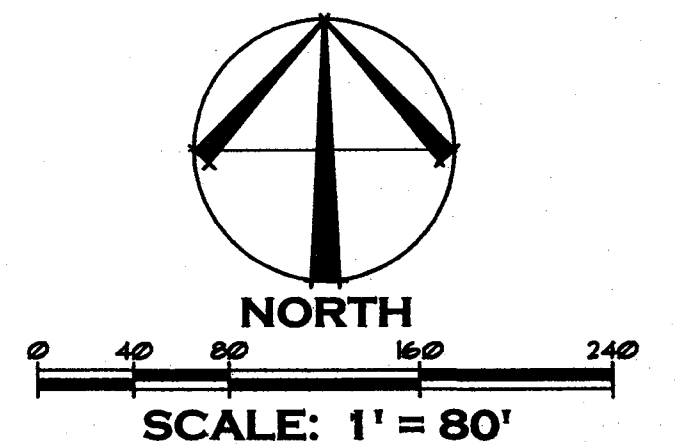
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CAD FILE 0640\_CDP.dwg

SHEET # 5 OF 26

Application No RZ/FDP-2006-SU-007 Staff JD Moss  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)

Date of (R/S) (PC) Dec 4, 2006  
Sheet 5 of 26



MATCHLINE - SEE SHEET 4

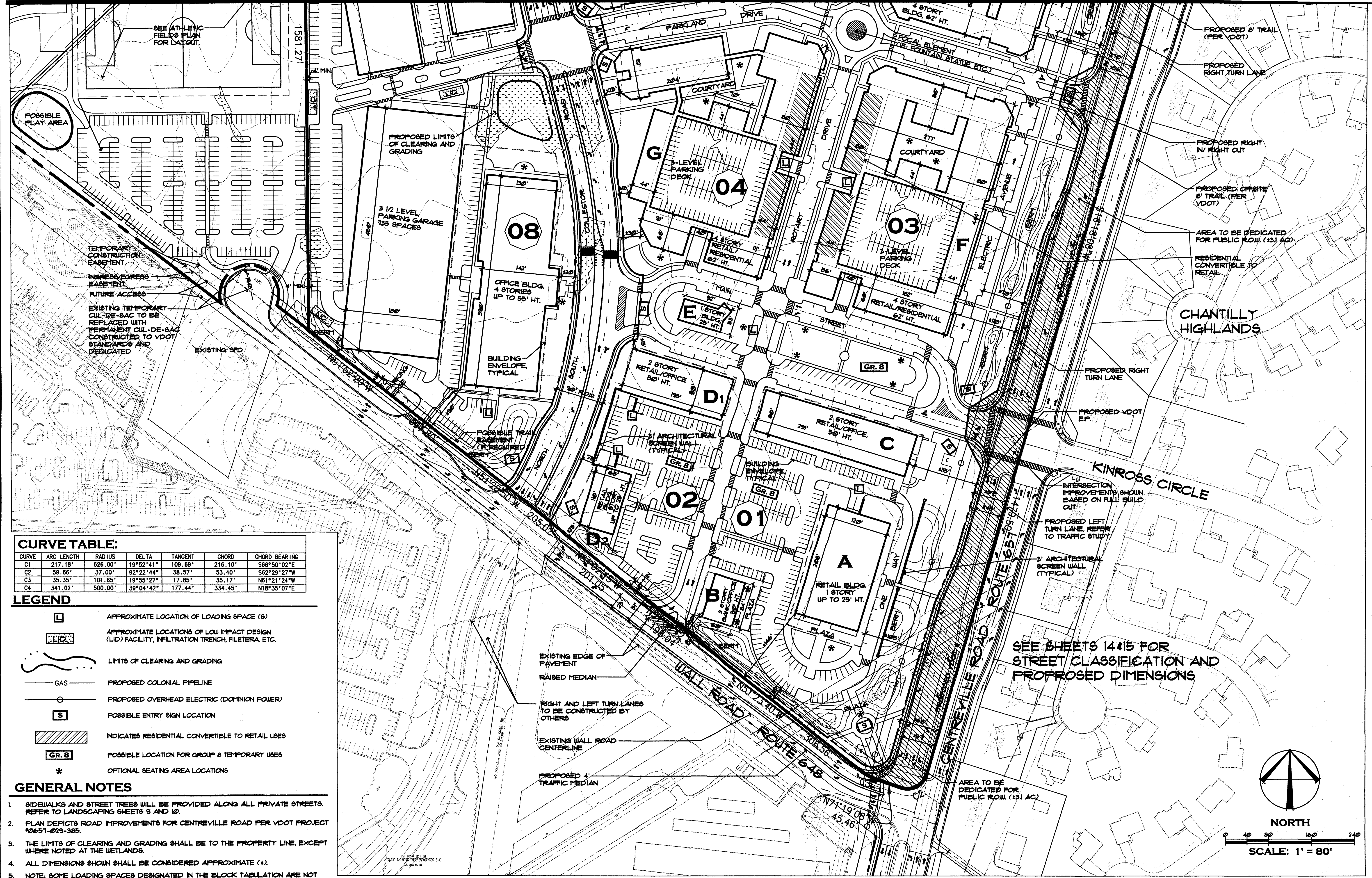
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MATCHLINE - SEE SHEET 8



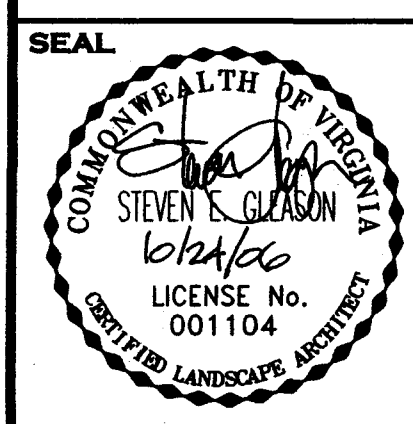
**CURVE TABLE:**

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- LEGEND**
- APPROXIMATE LOCATION OF LOADING SPACE (S)
  - APPROXIMATE LOCATIONS OF LOW IMPACT DESIGN (LID) FACILITY, INFILTRATION TRENCH, FILETERA, ETC.
  - LIMITS OF CLEARING AND GRADING
  - GAS PROPOSED COLONIAL PIPELINE
  - PROPOSED OVERHEAD ELECTRIC (DOMINION POWER)
  - POSSIBLE ENTRY SIGN LOCATION
  - INDICATES RESIDENTIAL CONVERTIBLE TO RETAIL USES
  - POSSIBLE LOCATION FOR GROUP 8 TEMPORARY USES
  - OPTIONAL SEATING AREA LOCATIONS

- GENERAL NOTES**
- SIDEWALKS AND STREET TREES WILL BE PROVIDED ALONG ALL PRIVATE STREETS. REFER TO LANDSCAPING SHEETS 9 AND 10.
  - PLAN DEPICTS ROAD IMPROVEMENTS FOR CENTREVILLE ROAD PER VDOT PROJECT #06571-023-389.
  - THE LIMITS OF CLEARING AND GRADING SHALL BE TO THE PROPERTY LINE, EXCEPT WHERE NOTED AT THE WETLANDS.
  - ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE (±).
  - NOTE: SOME LOADING SPACES DESIGNATED IN THE BLOCK TABULATION ARE NOT REFLECTED ON THE PLAN (□) AND ARE TO BE PROVIDED IN THE PARKING DECKS.

**William H. Gordon Associates, Inc.**  
 4501 Doby Drive, Suite 101  
 Fairfax, VA 22031-1900  
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 FAX 703-263-0766  
 ENGINEERS - SURVEYORS - PLANNERS - LANDSCAPE ARCHITECTS

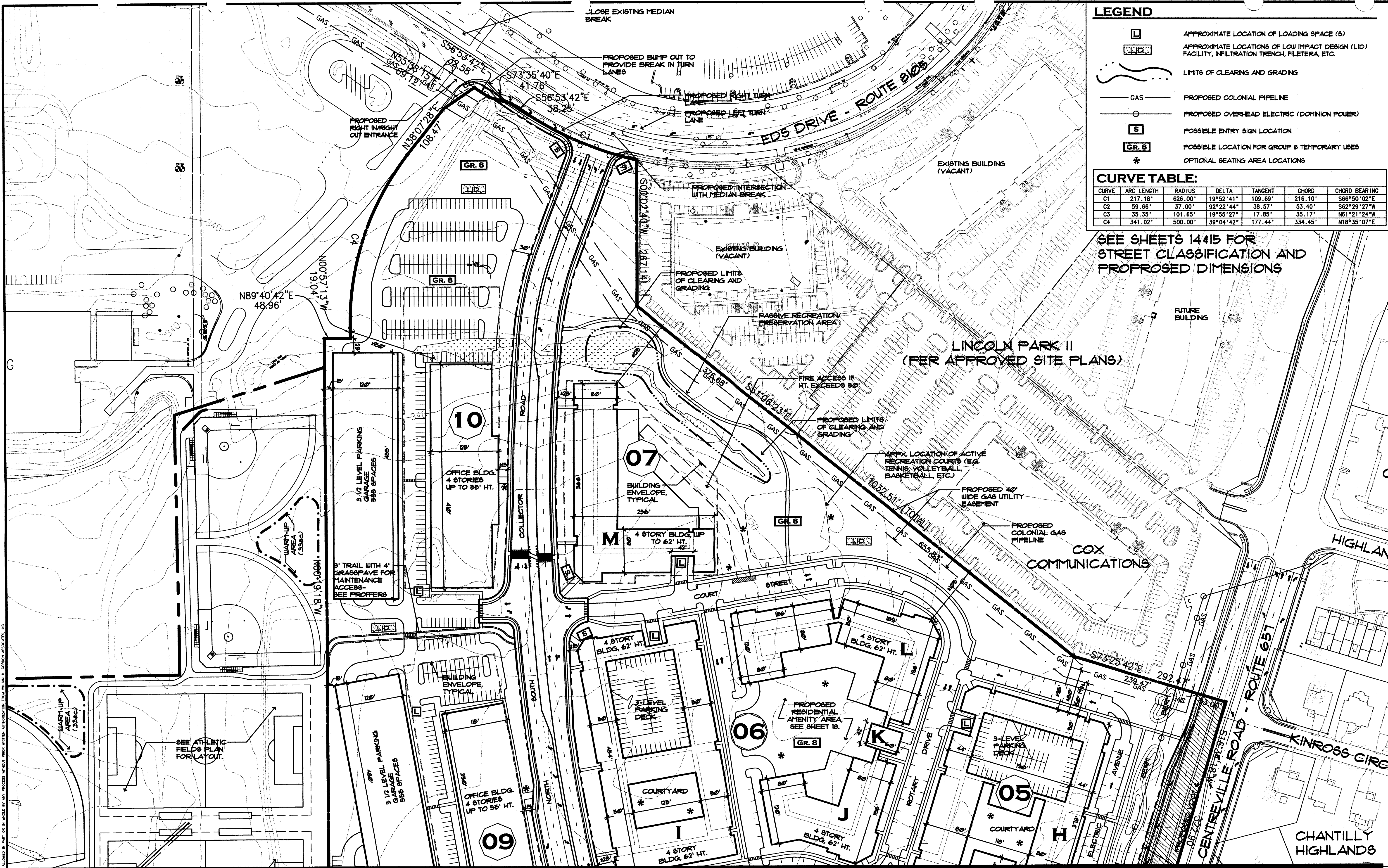


- REVISIONS**
- |                  |
|------------------|
| JANUARY 30, 2006 |
| MARCH 20, 2006   |
| APRIL 21, 2006   |
| JUNE 30, 2006    |
| AUGUST 18, 2006  |
| SEPT. 1, 2006    |
| SEPT. 15, 2006   |
| OCTOBER 9, 2006  |
| OCTOBER 24, 2006 |

ALTERNATE CDP / FDP  
**EDS / LINCOLN PROPERTY**  
 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE 1"=80'  
 DATE FEBRUARY 1, 2006  
 DRAWN DK/NY/OFS  
 CHECKED SEG  
 JOB # 0640-1518  
 CAD FILE 0640-CDP-ALT.dwg  
 SHEET # 7 OF 26





**LEGEND**

- APPROXIMATE LOCATION OF LOADING SPACE (S)
- APPROXIMATE LOCATIONS OF LOW IMPACT DESIGN (LID) FACILITY, INFILTRATION TRENCH, FILETERA, ETC.
- LIMITS OF CLEARING AND GRADING
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- PROPOSED COLONIAL PIPELINE
- PROPOSED OVERHEAD ELECTRIC (DOMINION POWER)
- POSSIBLE ENTRY SIGN LOCATION
- POSSIBLE LOCATION FOR GROUP B TEMPORARY USES
- OPTIONAL SEATING AREA LOCATIONS

**CURVE TABLE:**

CURVE	ARC LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
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C3	35.35'	101.65'	19°55'27"	17.85'	35.17'	N61°21'24"W
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SEE SHEETS 14415 FOR STREET CLASSIFICATION AND PROPOSED DIMENSIONS

**LINCOLN PARK II  
(PER APPROVED SITE PLANS)**

**William H. Gordon Associates, Inc.**  
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 Chantilly, VA 20151  
 PHONE: 703-261-1900  
 FAX: 703-261-0766

**SEAL**  
 COMMONWEALTH OF VIRGINIA  
 STEVEN E. GLEASON  
 LICENSE NO. 10246  
 CERTIFIED LANDSCAPE ARCHITECT

**REVISIONS**

JANUARY 30, 2006
MARCH 20, 2006
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OCTOBER 9, 2006
OCTOBER 24, 2006

**ALTERNATE CDP / FDP**

**EDS / LINCOLN PROPERTY**  
 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

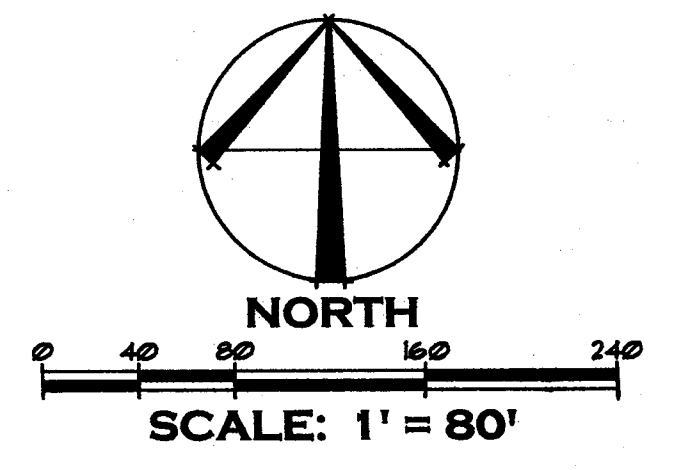
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MATCHLINE - SEE SHEET 7

Application No RZ/FDP-2006-SU-007 Staff JD Moss  
 APPROVED DEVELOPMENT PLAN  
 (DP) (GDP) (CDP) (FDP)

Date of (BOS) (PC) Dec 4, 2006  
 Sheet 8 of 26



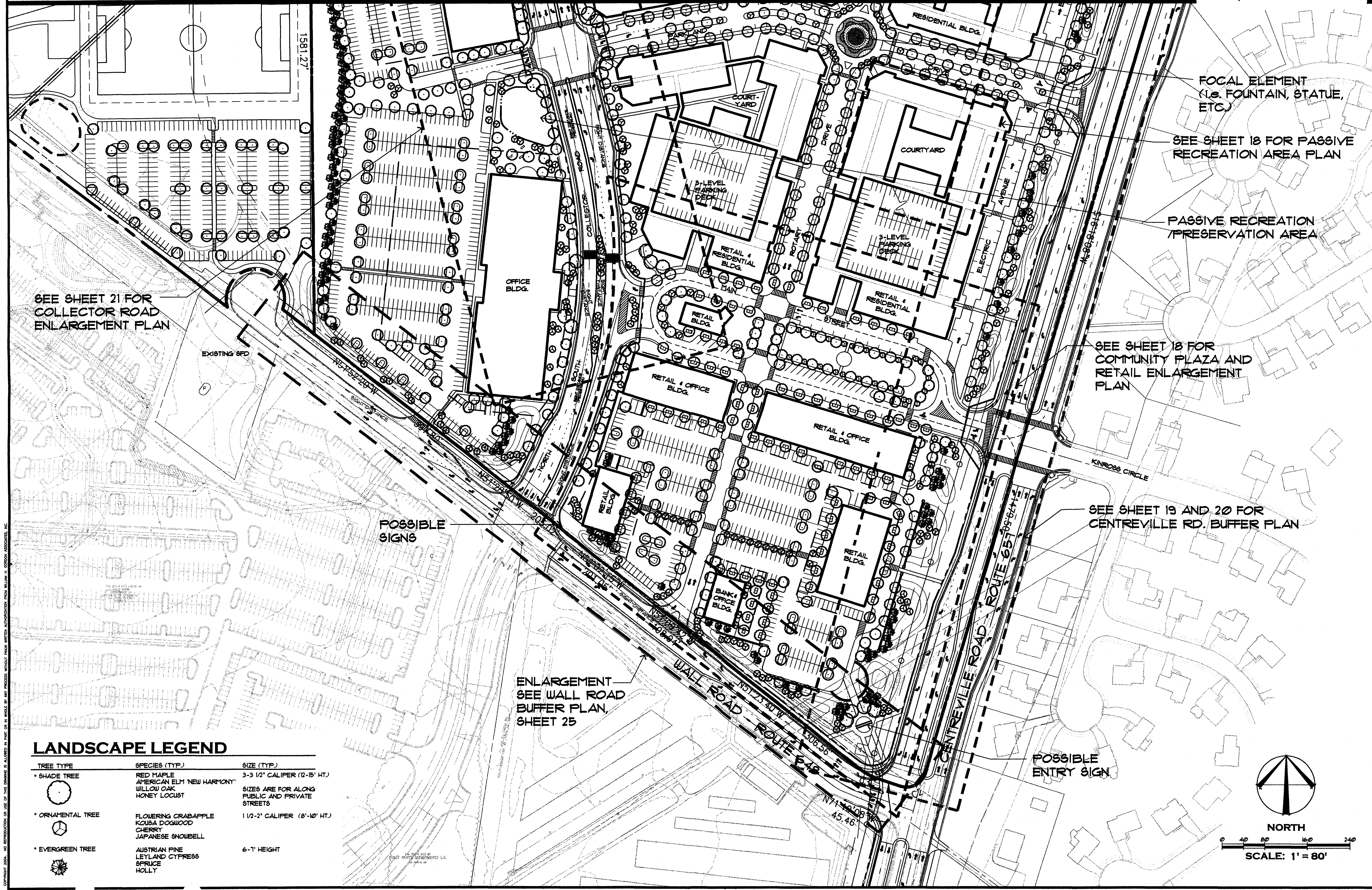


NOTE:  
STREET TREES MAY BE ADJUSTED FOR  
SIGHT DISTANCE AT FINAL ENGINEERING.

MATCHLINE - SEE SHEET 10

Application No RZ/FDP-2006-SU-007 Staff JD Moss  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)

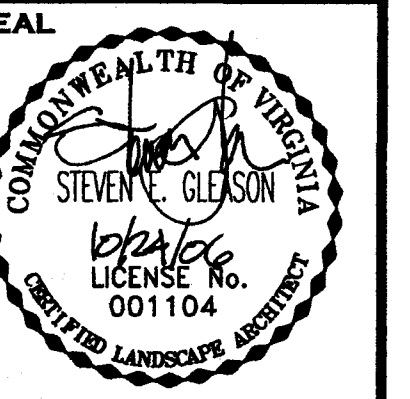
Date of (BQS) (PC) Dec 4, 2006  
Sheet 9 of 26



**LANDSCAPE LEGEND**

TREE TYPE	SPECIES (TYP.)	SIZE (TYP.)
• SHADE TREE	RED MAPLE AMERICAN ELM 'NEW HARMONY' WILLOW OAK HONEY LOCUST	3-3 1/2' CALIPER (12-15' HT.)  SIZES ARE FOR ALONG PUBLIC AND PRIVATE STREETS
• ORNAMENTAL TREE	FLOWERING CRABAPPLE KOUSA DOGWOOD CHERRY JAPANESE SNOWBELL	1 1/2-2' CALIPER (8'-10' HT.)
• EVERGREEN TREE	AUSTRIAN PINE LEYLAND CYPRESS SPRICE HOLLY	6-1' HEIGHT

**William H. Gordon Associates, Inc.**  
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PHONE 703-263-1900  
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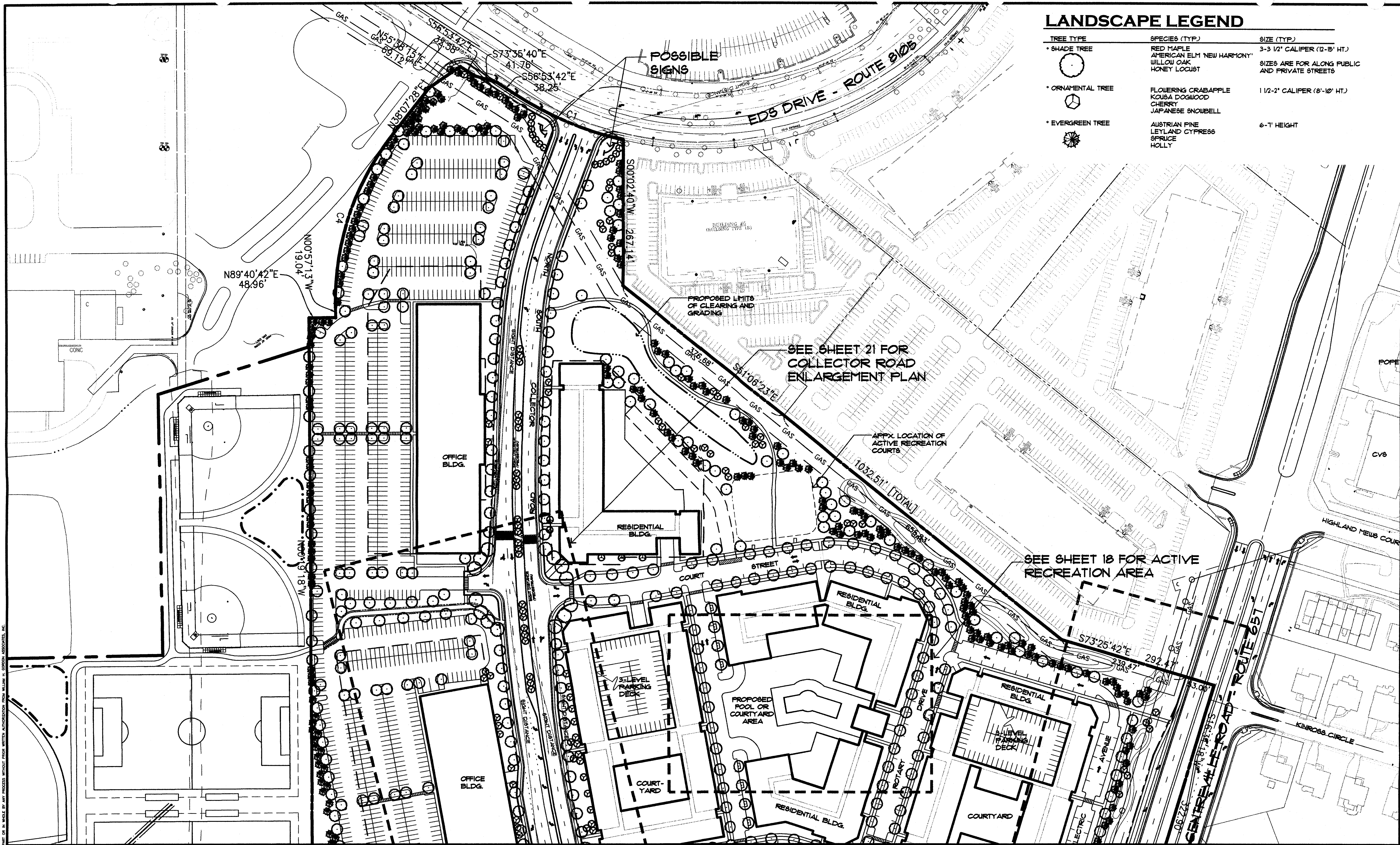
REVISIONS

JANUARY 30, 2006
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OCTOBER 9, 2006
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OVERALL LANDSCAPE PLAN  
**EDS / LINCOLN PROPERTY**  
SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE	1"=80'
DATE	FEBRUARY 1, 2006
DRAWN	DK/NY/OFS
CHECKED	SEG
JOB #	0640-1518
CAD FILE	0640-LS.dwg
SHEET #	9 OF 26

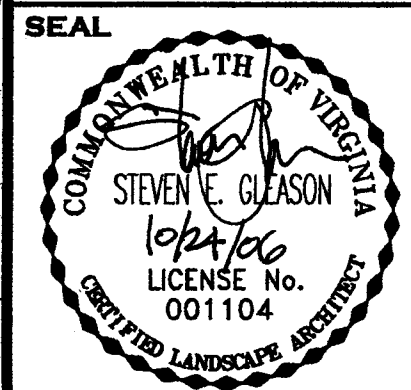




**LANDSCAPE LEGEND**

TREE TYPE	SPECIES (TYP)	SIZE (TYP)
• SHADE TREE	RED MAPLE AMERICAN ELM 'NEW HARMONY' WILLOW OAK HONEY LOCUST	3-3 1/2" CALIFER (12-15' HT.) SIZES ARE FOR ALONG PUBLIC AND PRIVATE STREETS
• ORNAMENTAL TREE	FLOWERING CRABAPPLE KOUSA DOGWOOD CHERRY JAPANESE SNOWBELL	1 1/2-2" CALIFER (8-10' HT.)
• EVERGREEN TREE	AUSTRIAN PINE LEYLAND CYPRESS SPRUCE HOLLY	6-7' HEIGHT

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 ENGINEERS - SURVEYORS - PLANNERS - LANDSCAPE ARCHITECTS



**REVISIONS**

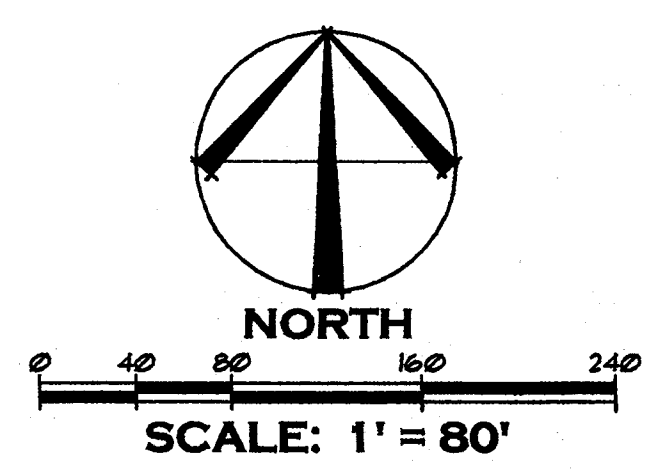
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OCTOBER 9, 2006
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OVERALL LANDSCAPE PLAN  
**EDS / LINCOLN PROPERTY**  
 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

MATCHLINE - SEE SHEET 9

NOTE:  
 STREET TREES TO BE ADJUSTED FOR  
 SIGHT DISTANCE AT FINAL ENGINEERING.

Application No RZ/FDP-2006-SU-007 Staff JD Moss  
 APPROVED DEVELOPMENT PLAN  
 (DP) (GDP) (CDP) (FDP)  
 Date of (ROS) (PC) Dec 4, 2006  
 Sheet 10 of 26

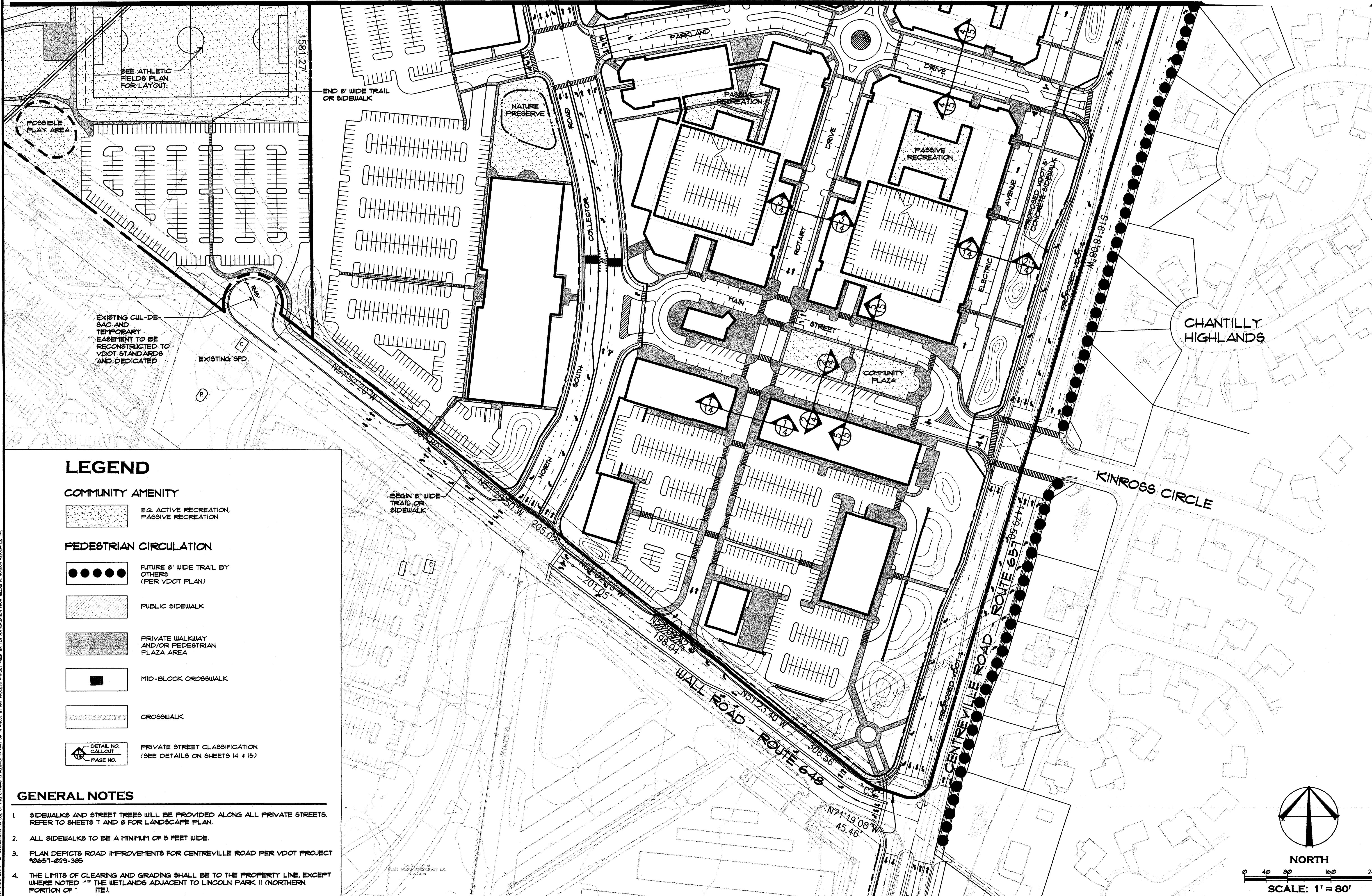


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CHECKED	SEG
JOB #	0640-1518
CAD FILE	0640_LS.dwg
SHEET #	10 OF 26

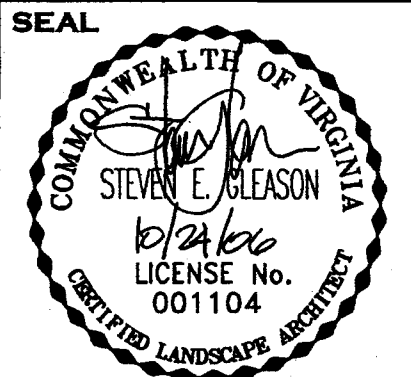
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MATCHLINE - SEE SHEET 12



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SITE AMENITIES / PEDESTRIAN CIRCULATION PLAN  
**EDS / LINCOLN PROPERTY**  
 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

**SCALE** 1" = 80'

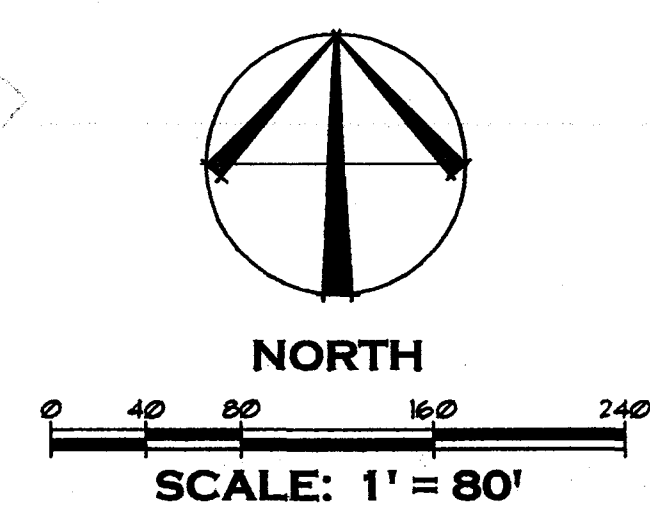
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**DRAWN** DK/NY/OFS  
**CHECKED** SEG  
**JOB #** 0640-1518  
**CAD FILE** 0640-USE.dwg  
**SHEET #** 11 OF 26

**LEGEND**

- COMMUNITY AMENITY**
- EG. ACTIVE RECREATION, PASSIVE RECREATION
- PEDESTRIAN CIRCULATION**
- FUTURE 8' WIDE TRAIL BY OTHERS (PER VDOT PLAN)
  - PUBLIC SIDEWALK
  - PRIVATE WALKWAY AND/OR PEDESTRIAN PLAZA AREA
  - MID-BLOCK CROSSWALK
  - CROSSWALK
  - PRIVATE STREET CLASSIFICATION (SEE DETAILS ON SHEETS 14 & 15)

**GENERAL NOTES**

- SIDEWALKS AND STREET TREES WILL BE PROVIDED ALONG ALL PRIVATE STREETS. REFER TO SHEETS 1 AND 8 FOR LANDSCAPE PLAN.
- ALL SIDEWALKS TO BE A MINIMUM OF 5 FEET WIDE.
- PLAN DEPICTS ROAD IMPROVEMENTS FOR CENTREVILLE ROAD PER VDOT PROJECT 06651-029-305
- THE LIMITS OF CLEARING AND GRADING SHALL BE TO THE PROPERTY LINE, EXCEPT WHERE NOTED AT THE WETLANDS ADJACENT TO LINCOLN PARK II (NORTHERN PORTION OF SITE).



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**LEGEND**

**COMMUNITY AMENITY**

 E.G. ACTIVE RECREATION, PASSIVE RECREATION


**PEDESTRIAN CIRCULATION**

 FUTURE 8' WIDE TRAIL BY OTHERS (PER VDOT PLAN)

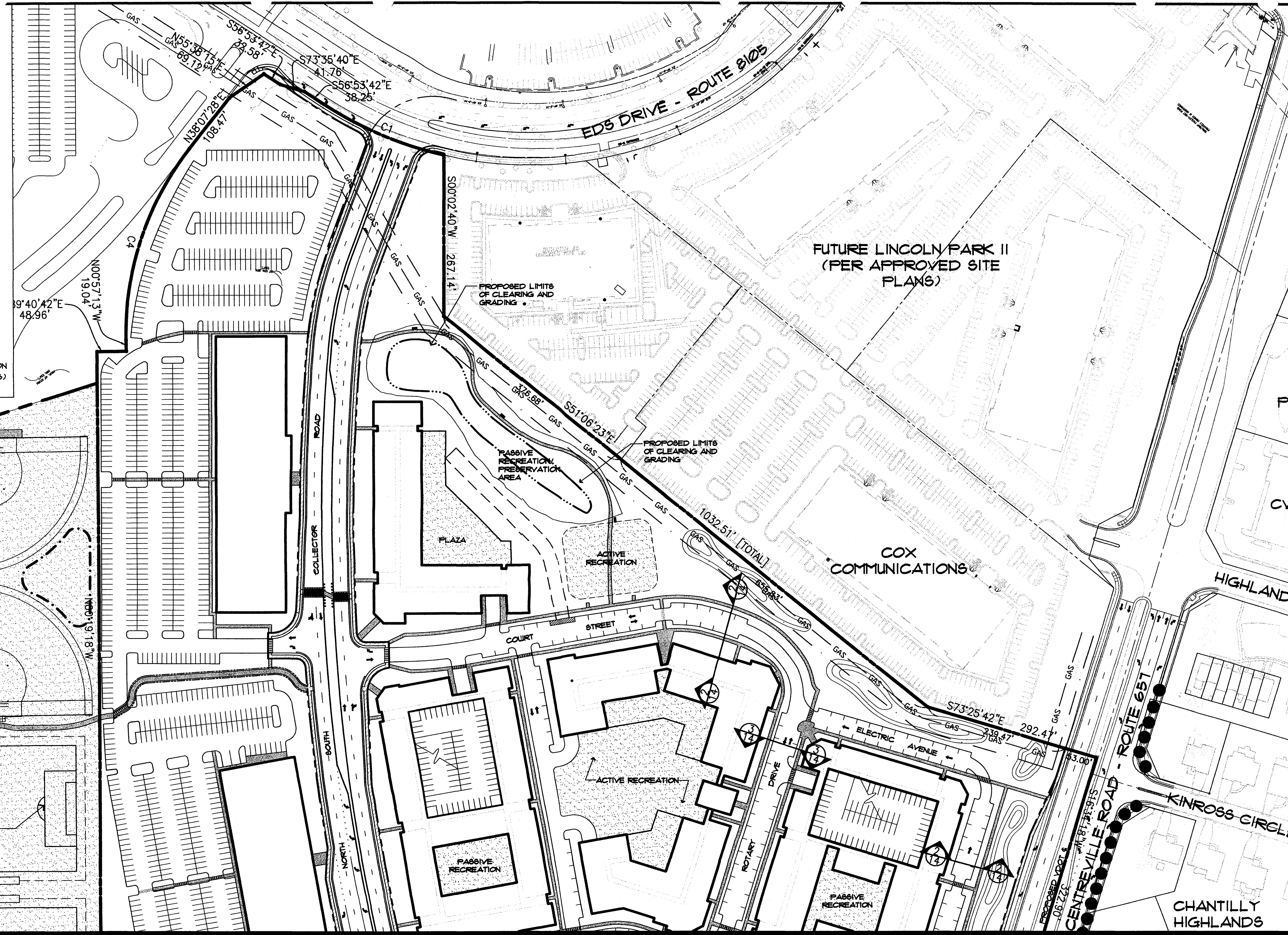
 PUBLIC SIDEWALK

 PRIVATE WALKWAY AND/OR PEDESTRIAN PLAZA AREA

 MID-BLOCK CROSSWALK

 CROSSWALK

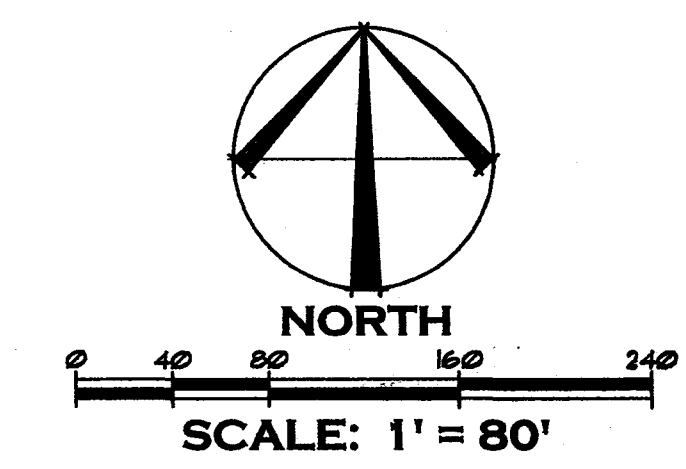
 PRIVATE STREET CLASSIFICATION (SEE DETAILS ON SHEETS 14 & 15)



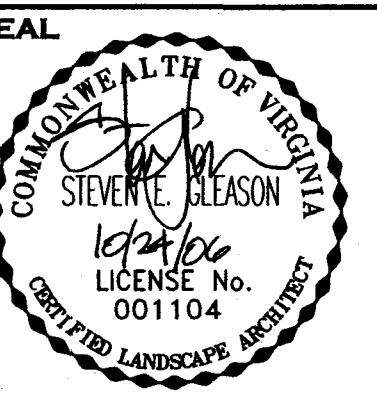
MATCHLINE - SEE SHEET 11

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 Sheet 12 of 26



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 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE 1"=80'

DATE FEBRUARY 1, 2006

DRAWN DK/NY/OFS

CHECKED SEG

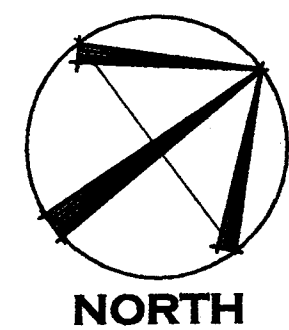
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SCALE: 1" = 60'

(1) 90' DIAMOND FIELD - SODDED

PROPOSED RECREATION AREA: 17.0 AC.

SEE PROFFER REGARDING ATHLETIC FIELDS

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RELOCATED 12" SEWER LINE

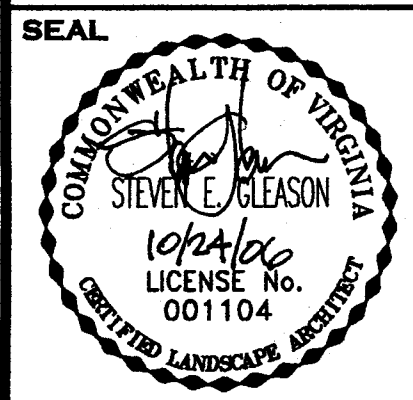
(2) 60' DIAMOND FIELDS FINAL GRADED & SODDED

(2) RECTANGULAR FIELDS WITH SYNTHETIC TURF

LEGEND

- BLEACHER (TYP.)
- LIGHTING (APPROX. LOCATION SUBJECT TO LIGHTING DESIGN)
- SAFETY NETTING, UP TO 50' HEIGHT
- EITHER 20' HIGH SAFETY NETTING OR EVERGREEN SCREENING

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ATHLETIC FIELDS PLAN  
**EDS / LINCOLN PROPERTY**  
SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE 1"=60'

DATE FEBRUARY 1, 2006

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CHECKED SEG

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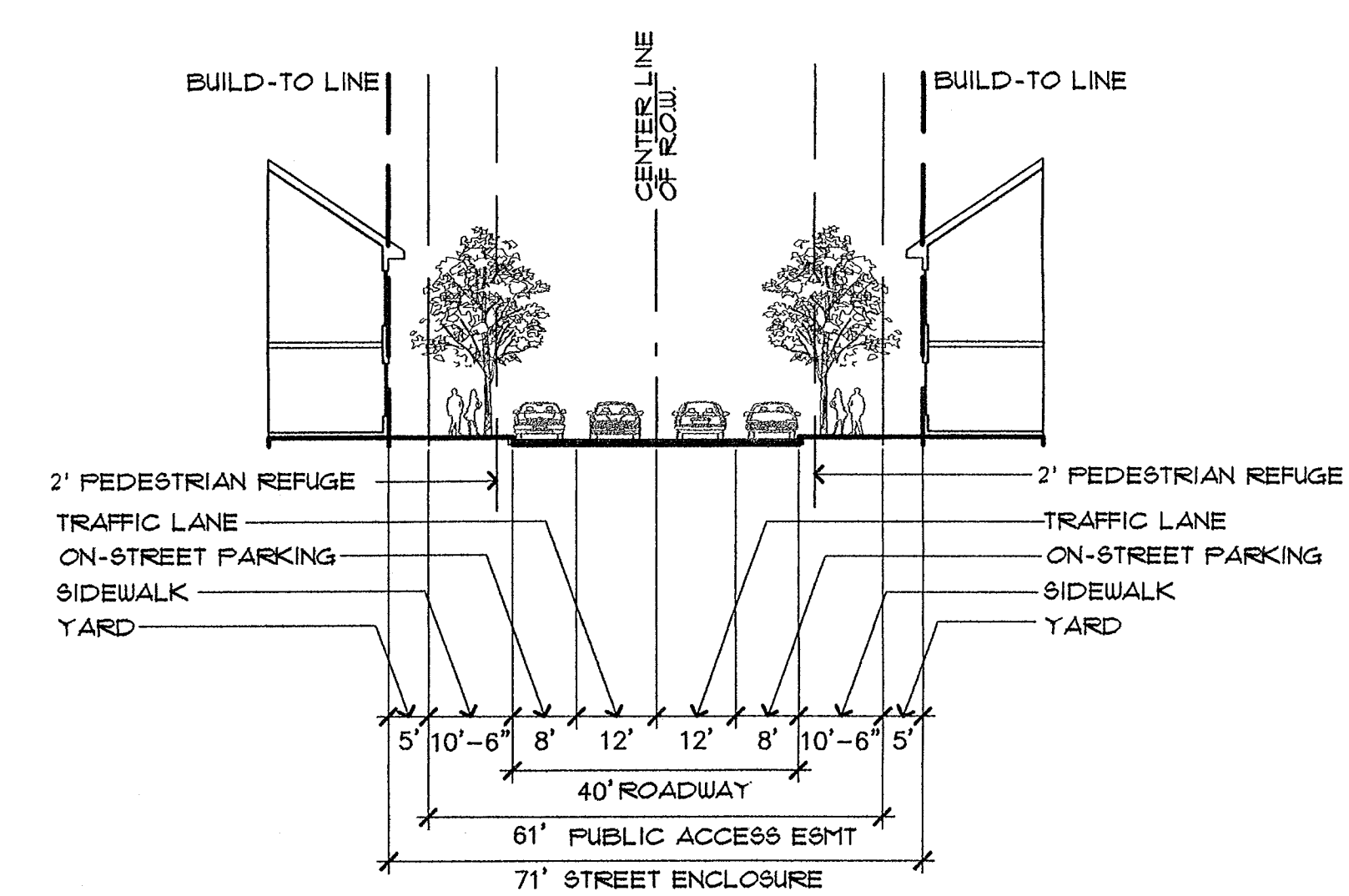
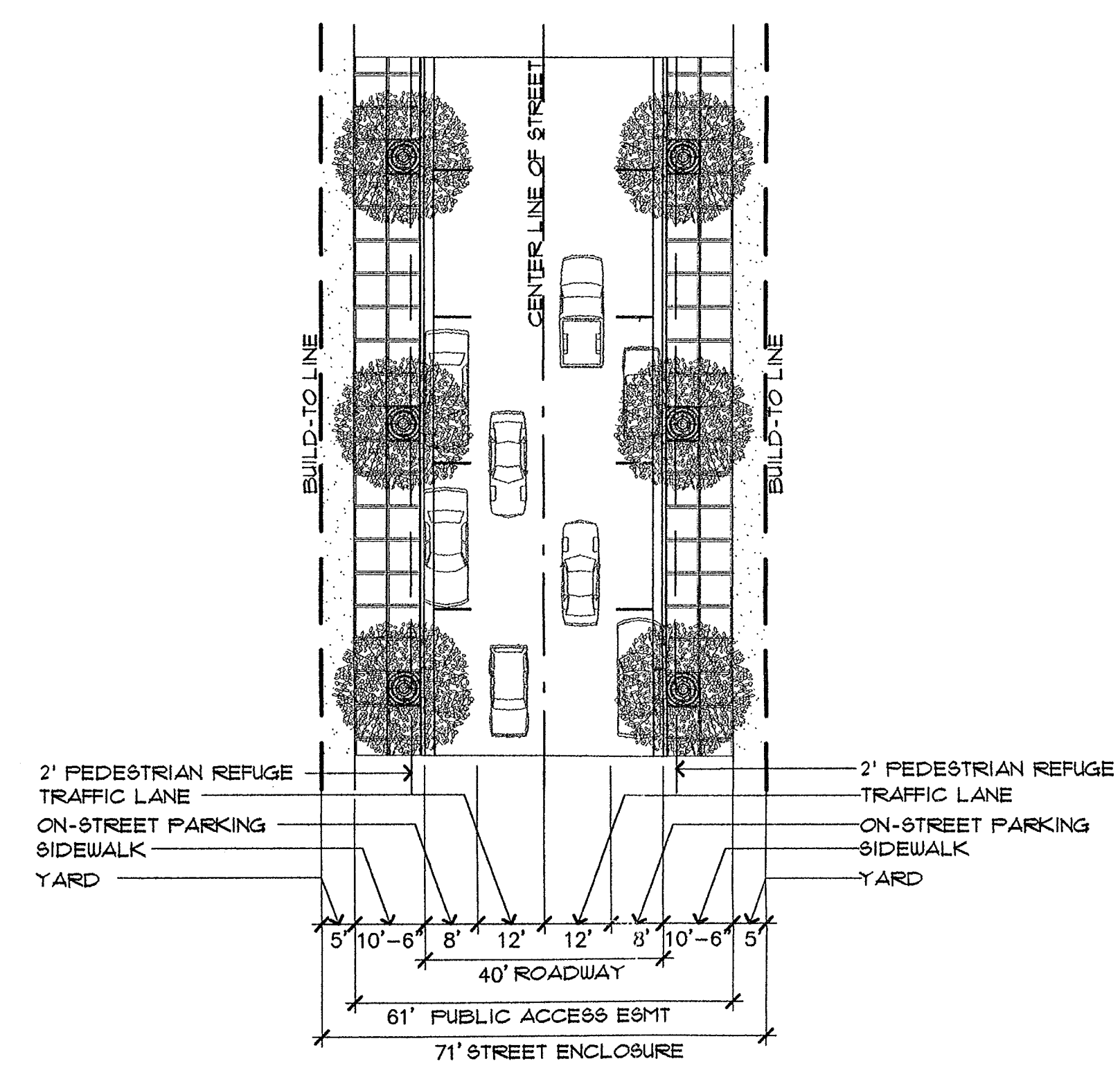
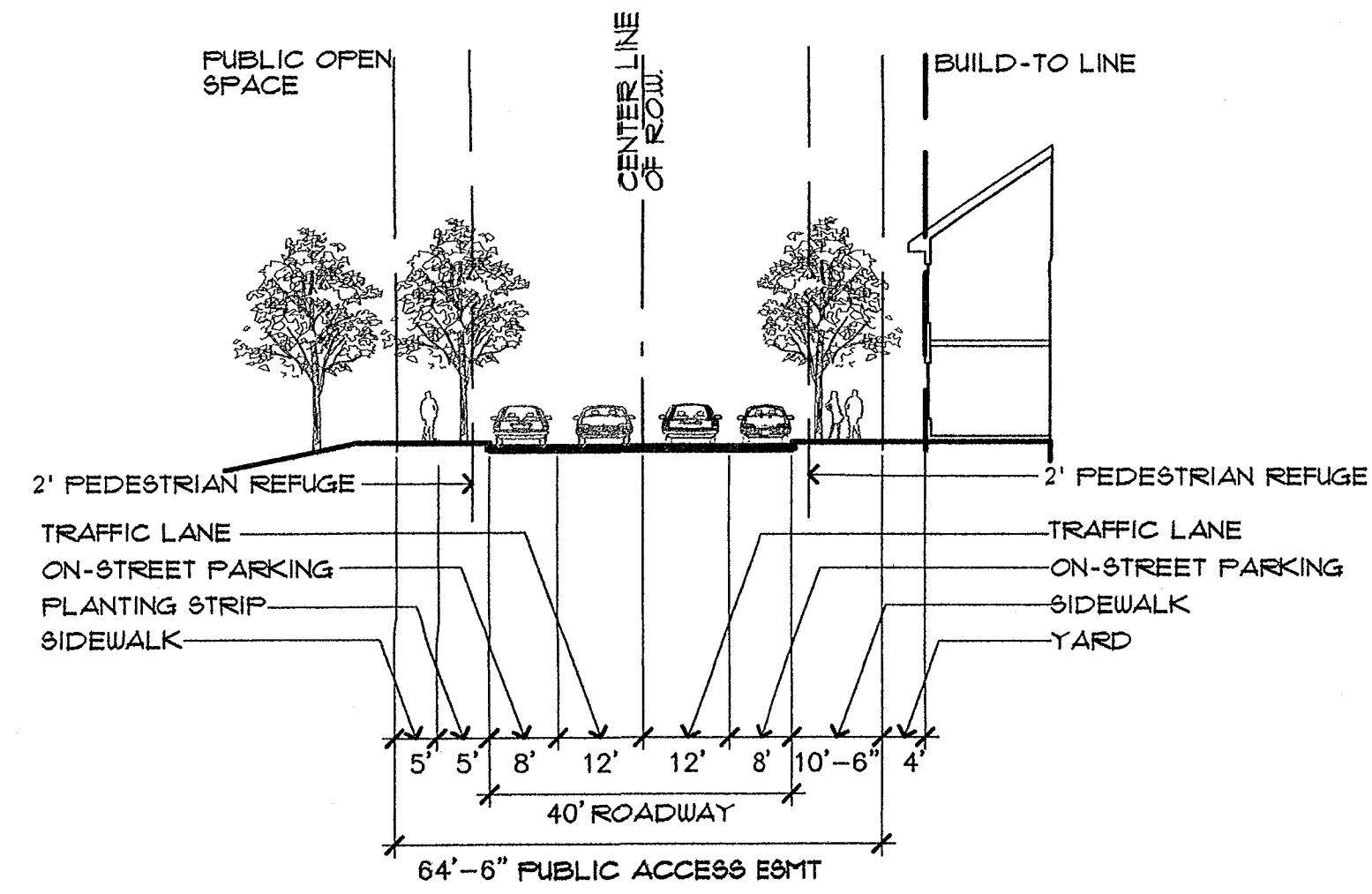
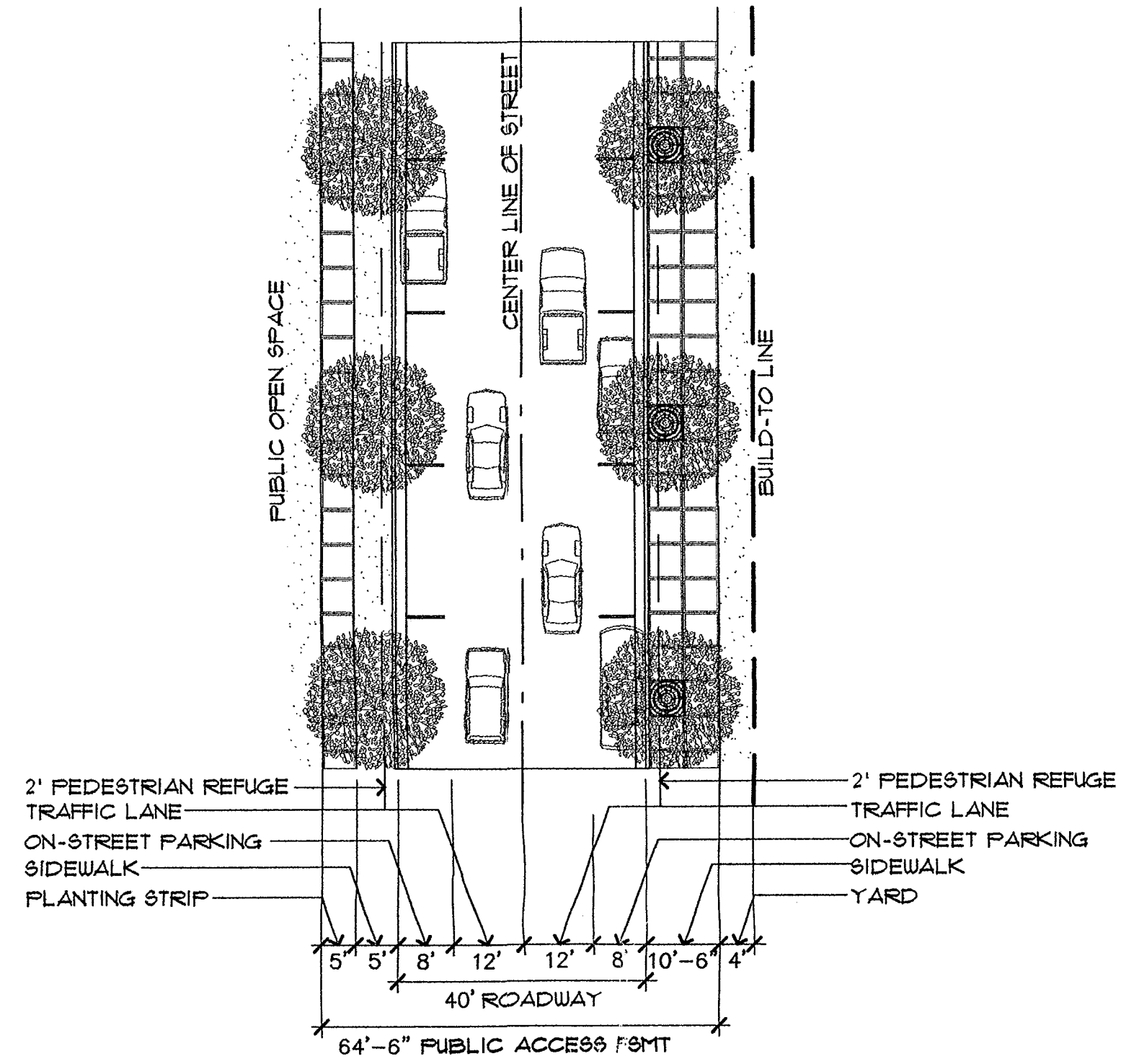
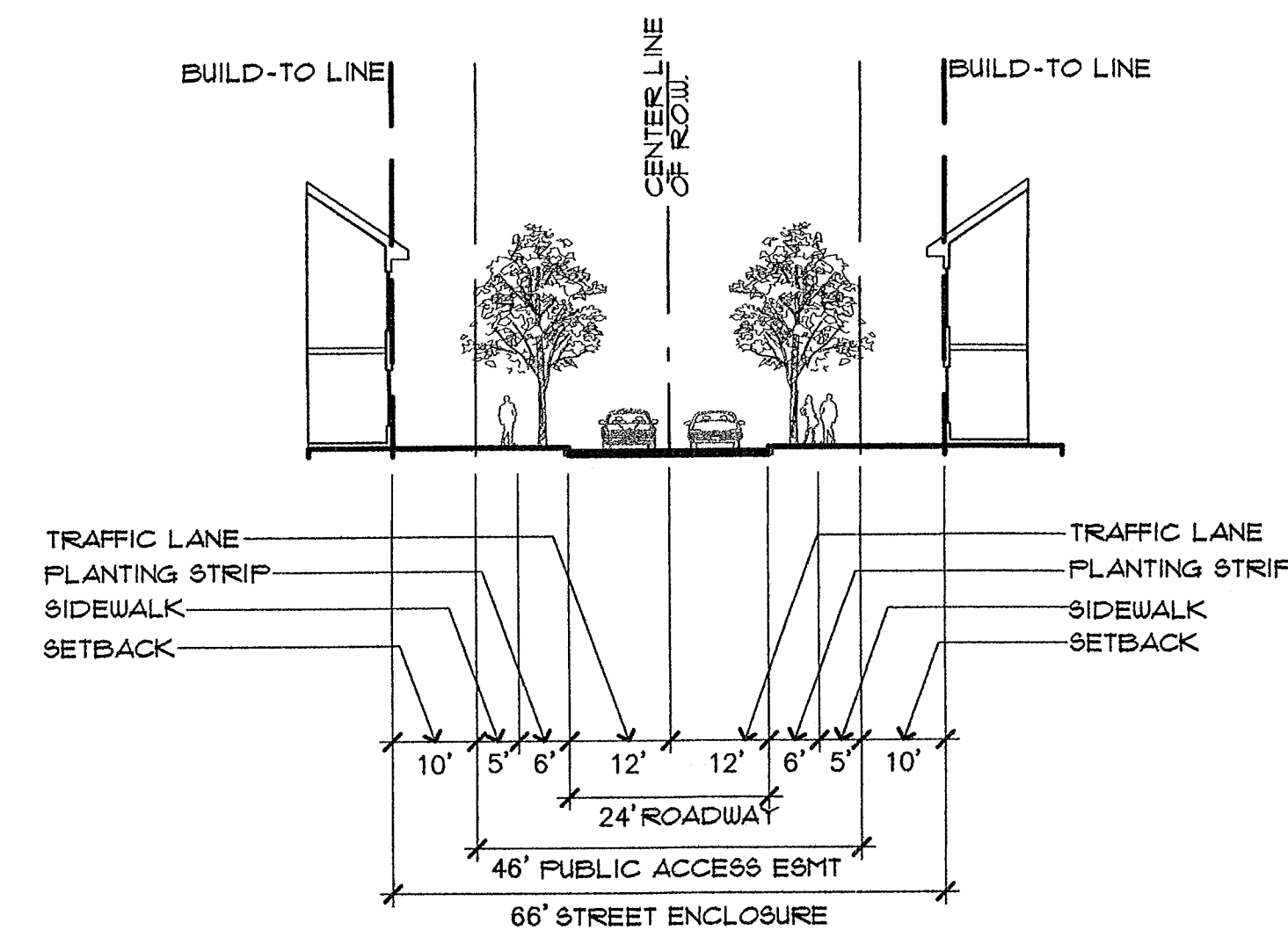
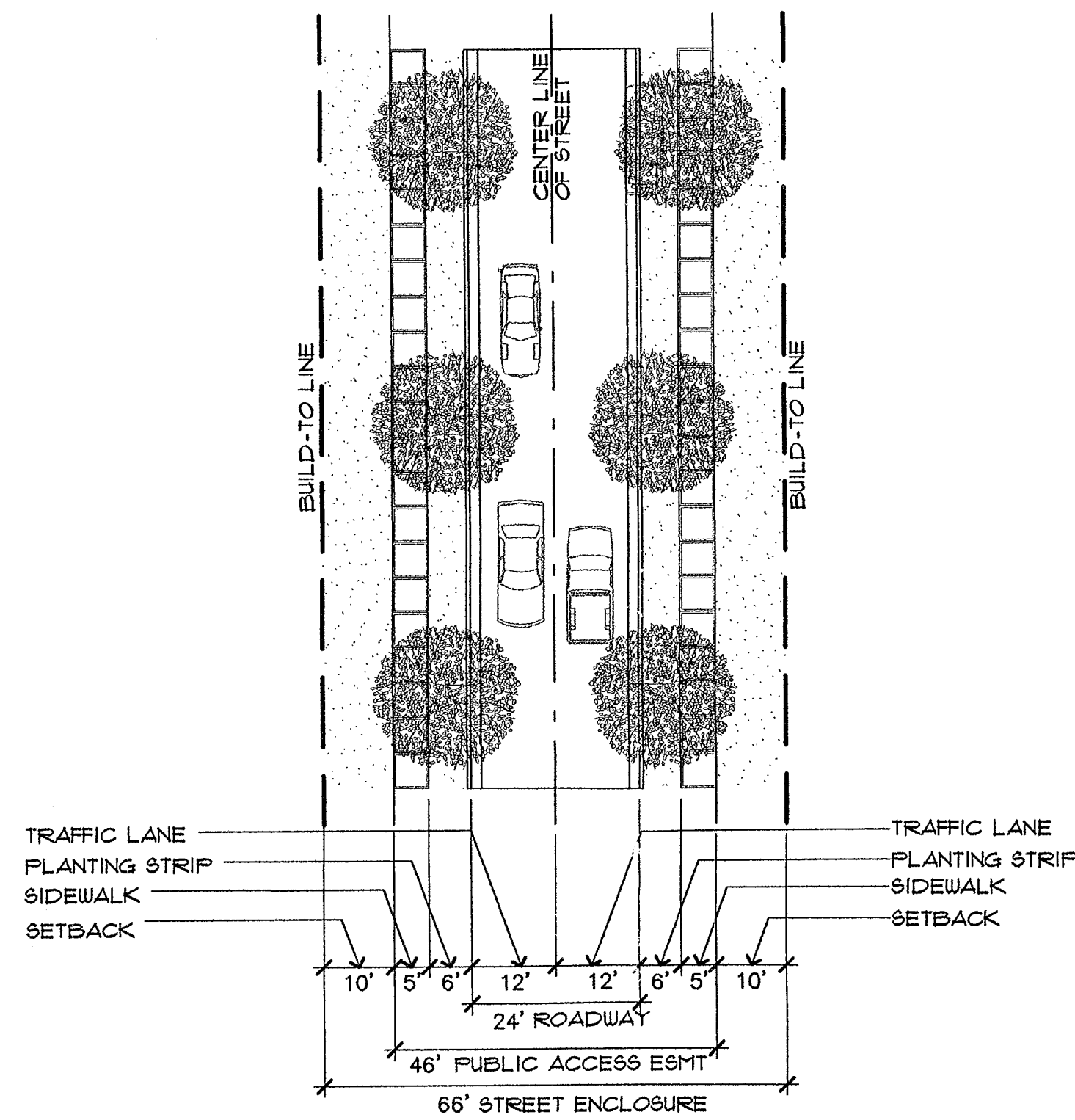
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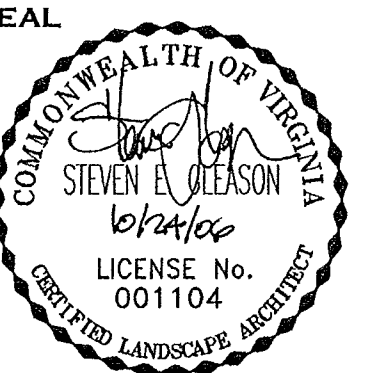
1. ALL STREETS PRESENTED ON THIS SHEET ARE PRIVATE STREETS TO BE MAINTAINED BY AN OWNERS ASSOCIATION. THE SECTIONS FEATURE ON-STREET PARKING, WALKWAYS, AND STREET TREES AND WILL BE DESIGNED CONSISTENTLY WITH SECTION 1 (PRIVATE STREETS) OF THE PUBLIC FACILITIES MANUAL (PFM).
2. SEE "PRIVATE STREET CLASSIFICATION" IN LEGEND LOCATED ON SHEETS 11 AND 12 FOR INTENDED LOCATION OF PROPOSED ROADWAY SECTIONS AND WALKWAYS SHOWN BELOW.



**1** TWO LANE / NO PARKING  
SCALE: 1" = 20'

**2** TWO LANE / ONE WAY / PARALLEL PARKING BOTH SIDES  
SCALE: 1" = 20'

**3** TWO LANE / TWO WAY / PARALLEL PARKING BOTH SIDES  
SCALE: 1" = 20'



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PRIVATE STREET STANDARDS  
**EDS / LINCOLN PROPERTY**  
SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE 1" = 20'

DATE FEBRUARY 1, 2006

DRAWN DK/NY/OFS

CHECKED SEG

JOB # 0640-1518

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Application No RZ/FDP-2006-SU-007 Staff JD Moss  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDD) (FDP)

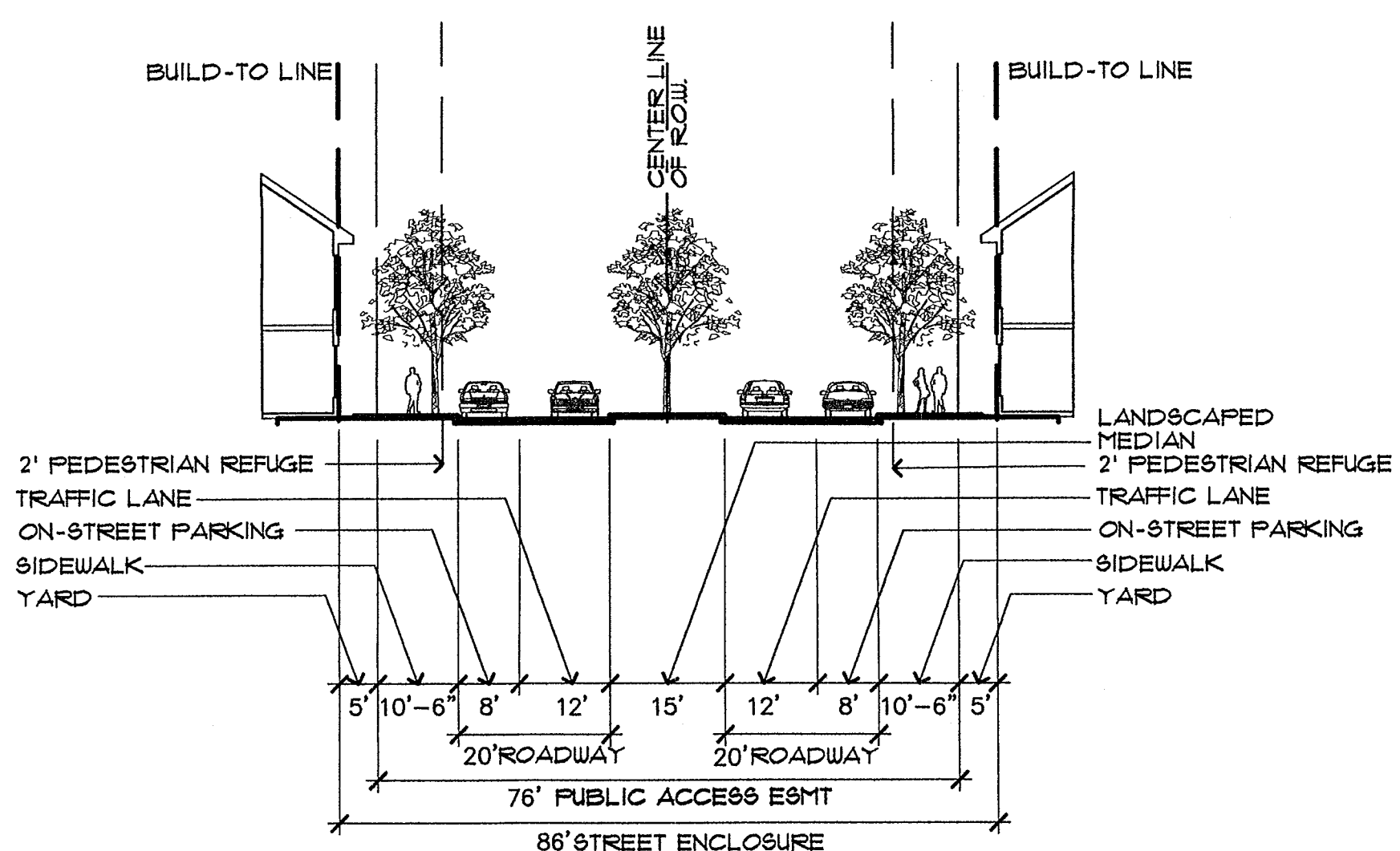
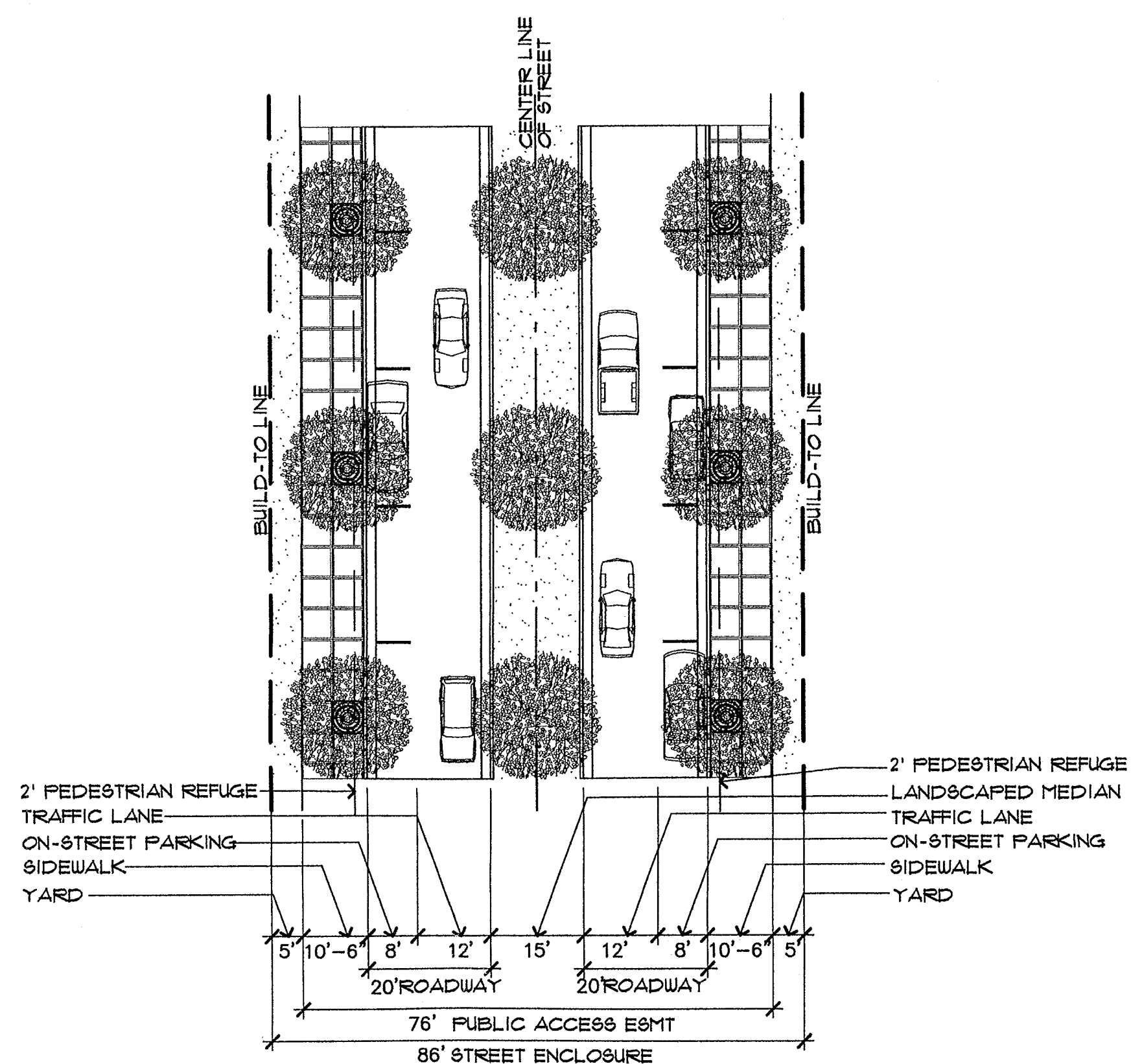
Date of (ROS) (PC) Dec 4, 2006  
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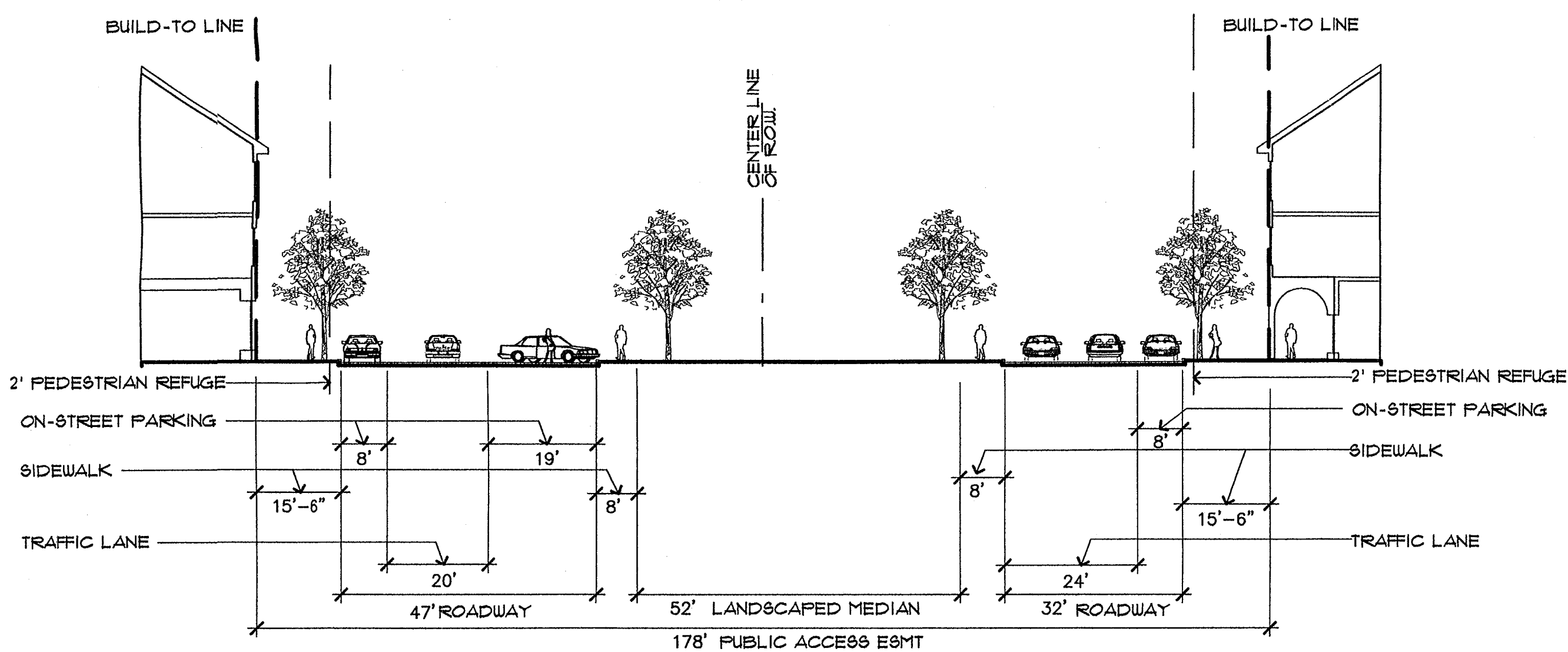
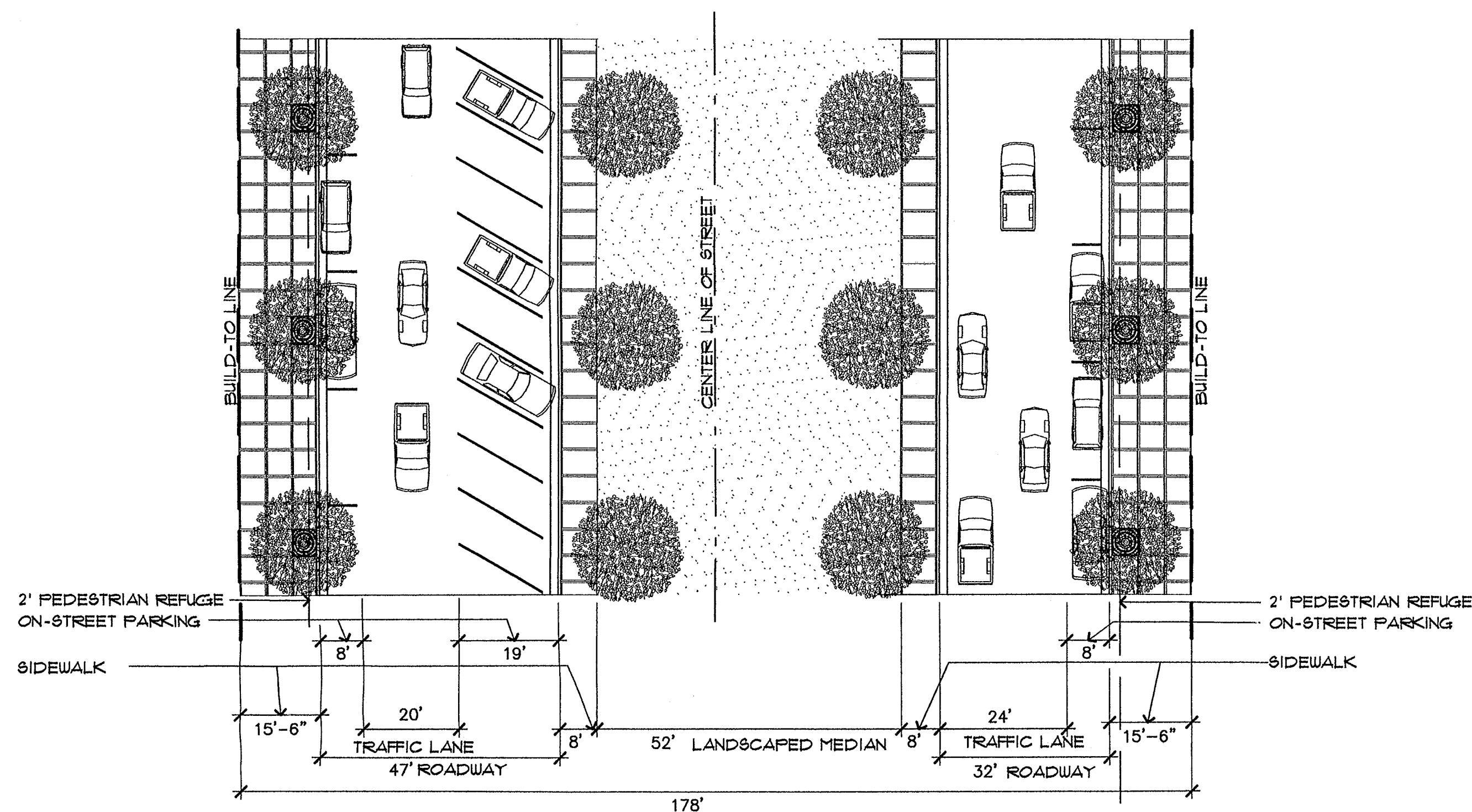


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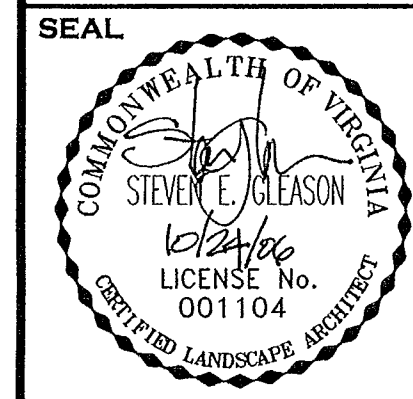


**4** TWO LANE BLVD. W/ PARALLEL PARKING  
SCALE: 1" = 20'



**5** COMMERCIAL / RETAIL, PARKING ONE OR BOTH SIDES  
SCALE: 1" = 20'

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PRIVATE STREET STANDARDS  
**EDS / LINCOLN PROPERTY**  
SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE	1" = 20'
DATE	FEBRUARY 1, 2006
DRAWN	DK/NY/OFS
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# 03: BUILDING FACADES

## Facade Elements

Traditional commercial areas were built at a time when retail stores were smaller and downtown blocks were divided into narrower lots.

Today, commercial buildings are much larger, though there is no reason why these larger scale buildings cannot be made to fit within traditional commercial street environments.

### Massing

Buildings are composed of simple volumes, and are typically covered by flat roofs, although pitched roofs are not discouraged. The level of complexity should increase for any building situated on a corner or at the end of a terminating vista.

### Width

(Refer to diagrams below) Buildings over 60' wide should be broken down into a series of smaller elements or bays to match the rhythm of the historic shopfronts. See Basic Retail Layouts for further information and options.

### Facade Composition (Bays)

Traditional commercial buildings typically have an orderly placement of windows and doors within each bay.

## Entrance

The entrance bay should be the most prominent with a minimum door height of 7'-0". The storefront may have multiple entrance doors with a less predominant entrance serving the upper floor levels. Entrances can be recessed. Buildings located on the corner may have corner entrances, improving visibility and pedestrian circulation.

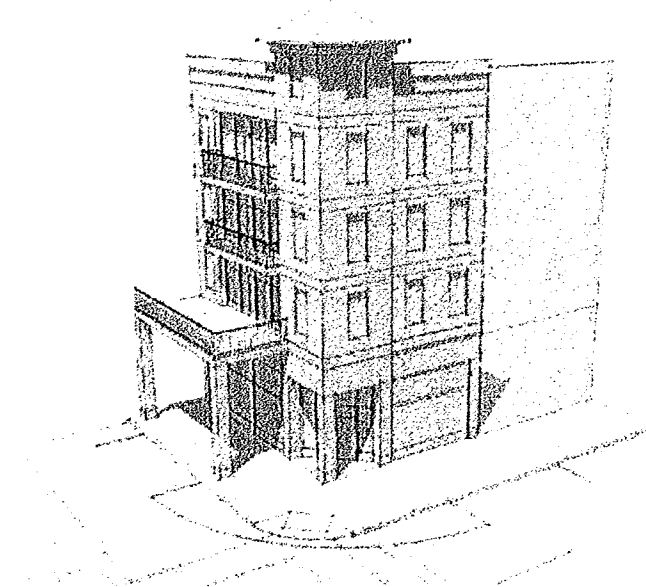
## Storefronts

Ground floor windows should be large, clear plate glass. Multiple storefronts within the same building should be compatible in terms of scale, alignment and storefront design. The elements of all new storefronts should relate architecturally to the building on which they are fitted.

These guidelines deal with the elements of the facade. The elements of each building should be in keeping with the individual architectural style of each building. A variety of architectural styles add interest and flavor along the streetscape.

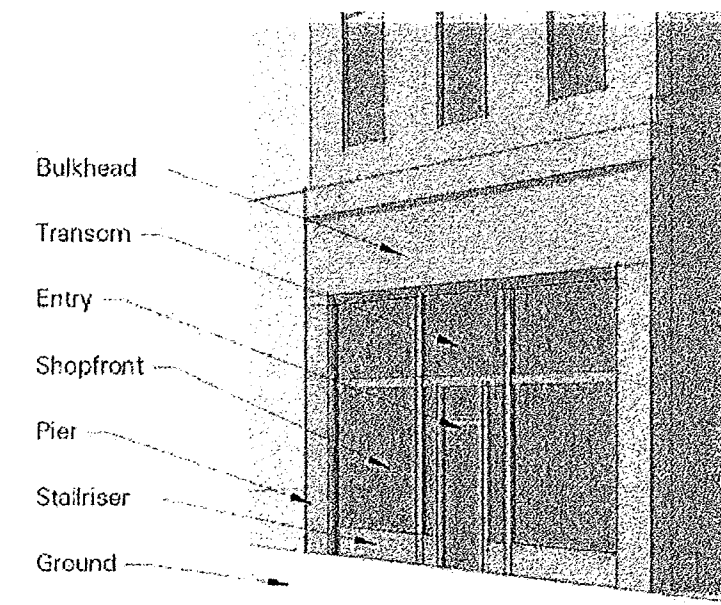
Most shopfronts, independent of the architectural style, are set within a strong surround formed by two pilasters, connected by a bulkhead.

3



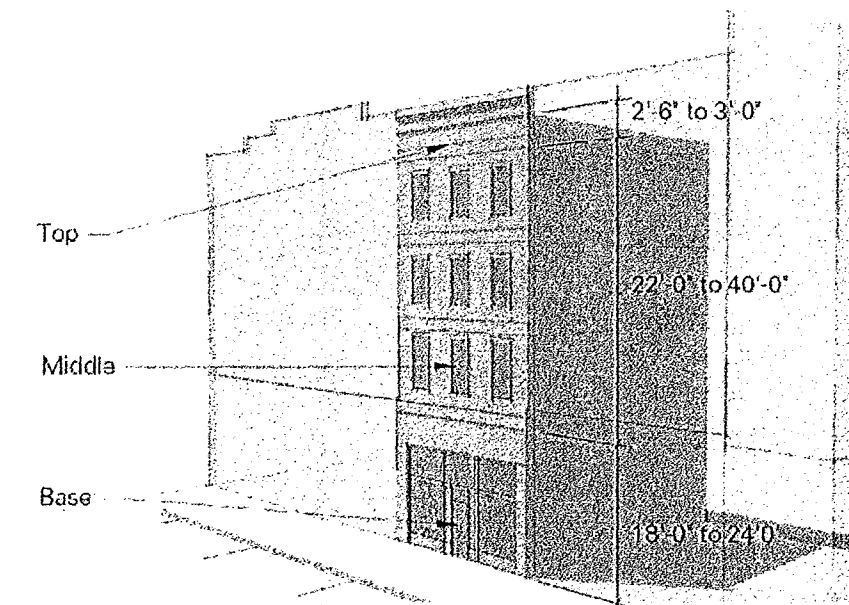
Possible Corner Layout

4



Typical Storefront Elements

5

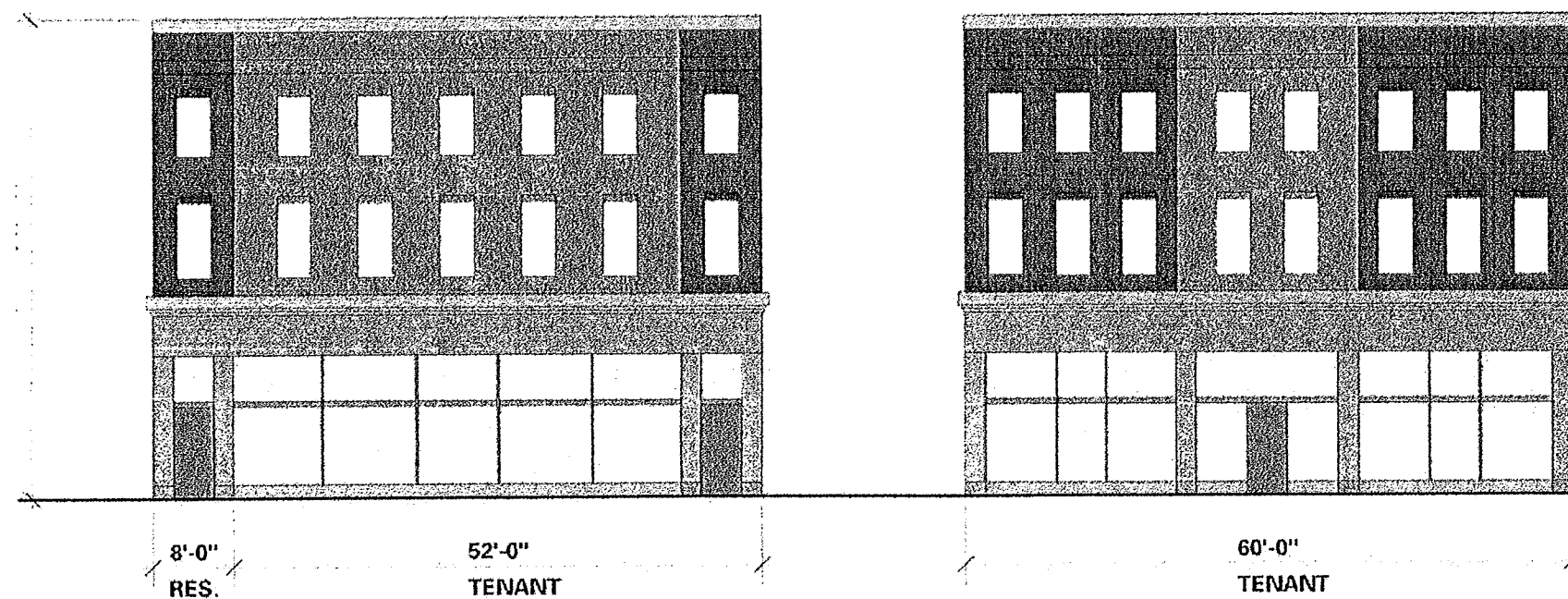


Mixed-Use Facade Elements & Heights

## D1 Facade Elements

### INFILL

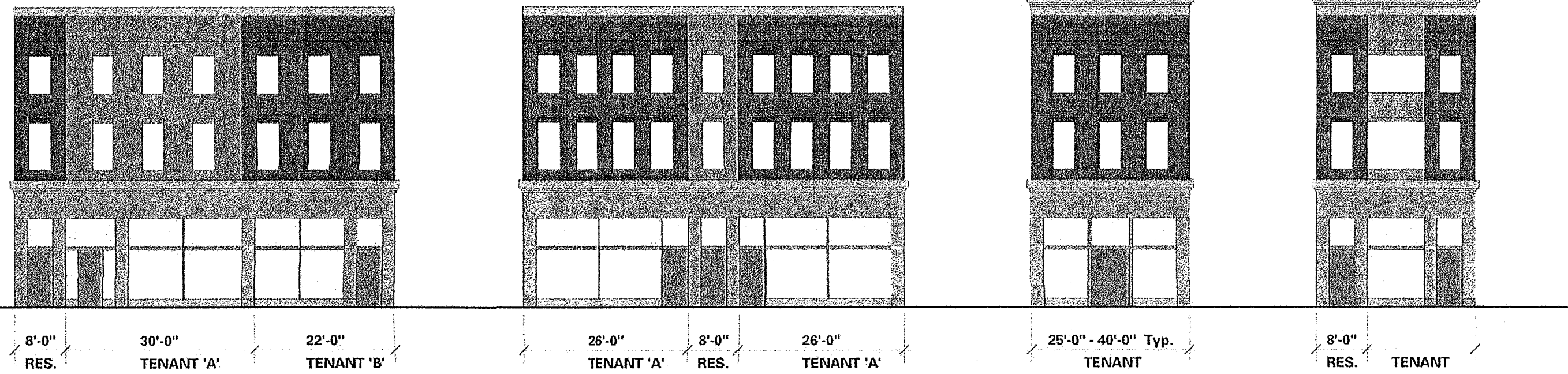
These buildings are typically located in-line, with simpler proportions. It permits greater leasing flexibility while offering a variety of tenant configurations as illustrated above. Residential access to the street is encouraged.



## D3 Facade Diagrams

### CLASSIC MAIN STREET

Typically used at corners and special conditions such as terminating vistas, although not limited to these locations. These buildings typically have more architectural detail since they reside in places of importance.



## C1 Mixed Use Retail Layouts

# 02: BUILDING SCALE & MASSING

## Town Center

Authenticity is a principle that should be applied. Strategies for design include:

- \*The whole thing should not look like a whole thing
- \*A town is always in the process of becoming
- \*Money should be spent at the street where people see and touch the buildings and streetscape
- \*Create urban rooms

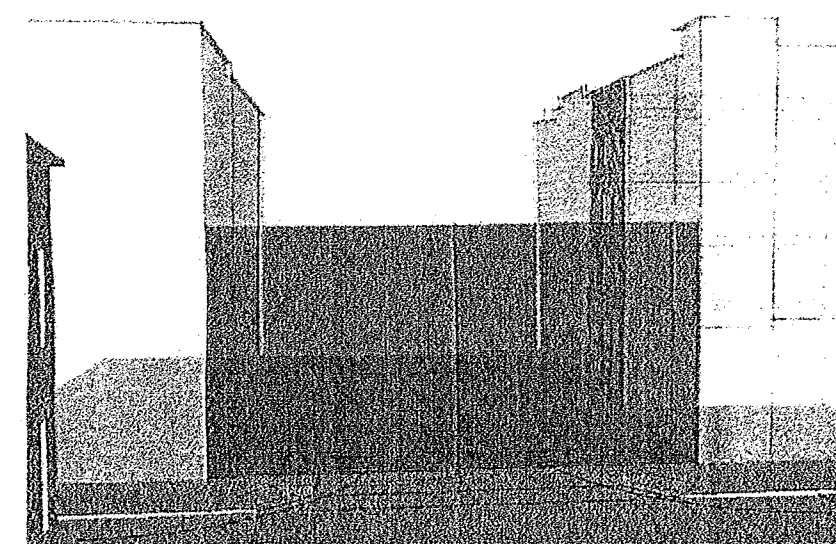
1. It's not about style or period, it is about detail and grain.
2. Scale and human vision are best served when the street proportions are near a 2 to 1 ratio of street width to storefront height. 62' is an ideal street width for main street retail. Somewhere between 3 to 1 and 6 to 1 works best for public squares with 6 to 1 being the perceivable maximum spatial enclosure.
3. Sense of Place is a desirable attribute of urbanism. The spatial definition can be achieved by using elements of the building or the street trees.
4. Terminated vistas can so affect the spatial definition of an urban room. The building at the end of the terminating vista should be an important building and should have sufficient prominence and detailing to articulate the space or sustain the view.

## Mixed-Use Buildings

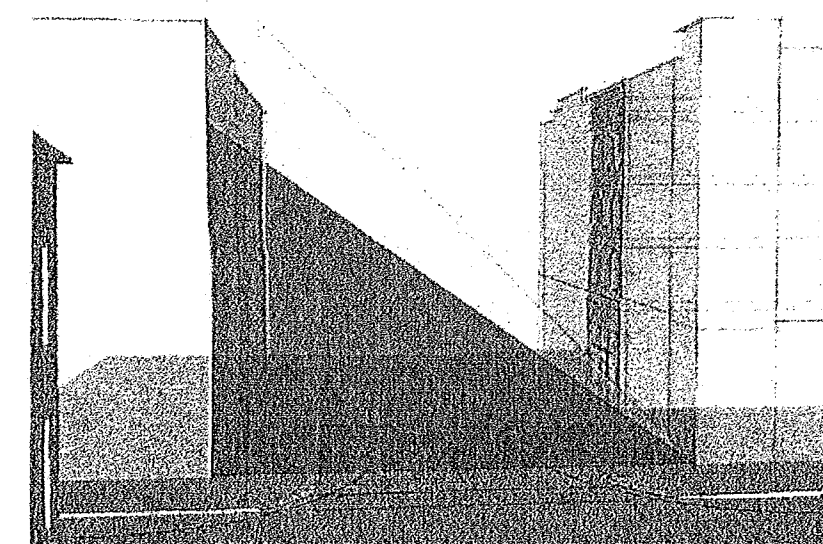
1. The buildings within the Main Street shall range from three to four stories along the main street, to three to four stories along the Green. One story buildings are permitted within the Green.
2. Buildings must be designed to maintain a minimum enclosure of the urban room. However, a uniform building height along the streetfront is not the intent and a variety of heights between buildings is encouraged to create visual interest.

## Residential Buildings

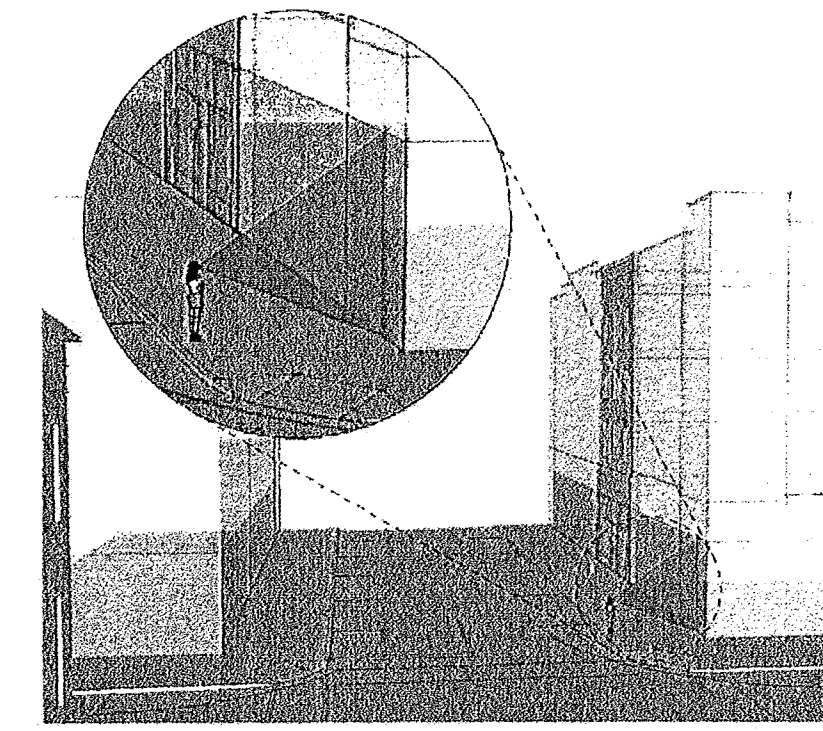
1. While portions of the residential buildings may be three or four stories in height and the scale and massing should be in keeping with the adjacent residential proportions.



2 to 1 Ratio of Street Width to Room Height



35' Minimum Enclosure and 45' Full Enclosure



Pedestrian Cone of Vision  
Use quality details and materials in this zone. Everything above this zone to be simplified.

## B1 Architectural Guidelines

# 01: BUILDING SITE AND STREETScape

## Main Street Streetscape and Sidewalks

Sidewalks along the Main Street serve as more than a place for pedestrian activity and a means to access the stores and dwellings. They also contain trees, site lighting and furniture. The focus of all streetscape elements is on enhancing and maintaining visibility to the storefronts and care should be taken to minimize obstructions.

- \*Commercial street frontage has raised curbs drained by inlets and wide sidewalks along both sides, separated from on street parking and vehicular lanes by separate tree wells with grates.
- \*Landscaping consists of a single tree species aligned with regular spacing, allowing visibility to the retail storefronts.
- \*Streetscape elements shall not inhibit the flow of pedestrian traffic within the pedestrian sidewalk zone.
- \*On street parking located along the curb lines of the retail streets shall count towards the parking totals. Parking shall be held back from the intersections.
- \*Curb radiuses shall range from 6-18 ft.

## Multi-Family Sidewalks

- \*Sidewalks at the residential buildings shall match the character and construction of the residential community.
- \*On-street parking located along the curb lines of the streets shall predominantly be for guest parking.

## Lighting

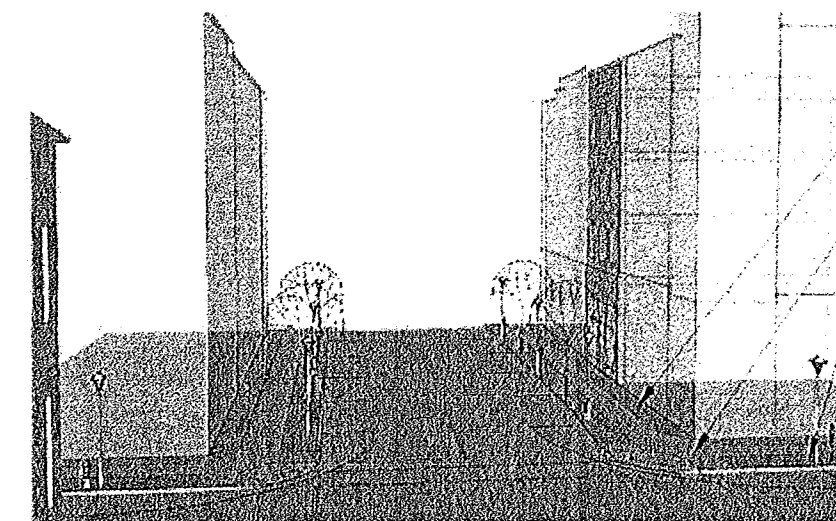
- \*Street lights shall be a post-type fixture, approved by the local utility company, that coordinates with the retail frontage, similar to other streetscape elements. Their function is to ensure the safety of the residences as well as protect them from excessive light overflow. Fixtures should be arranged to deflect light away from any residential areas and reduce the potential for light overflow.
- \*Pedestrian paths should be illuminated with low-level lighting, such as bollards or walkway lights.
- \*Street lights are just one element of the streetscape lighting. Light should flow out from within the retail spaces and their storefronts to maintain a vibrant pedestrian zone.

## Parking and Parking Decks

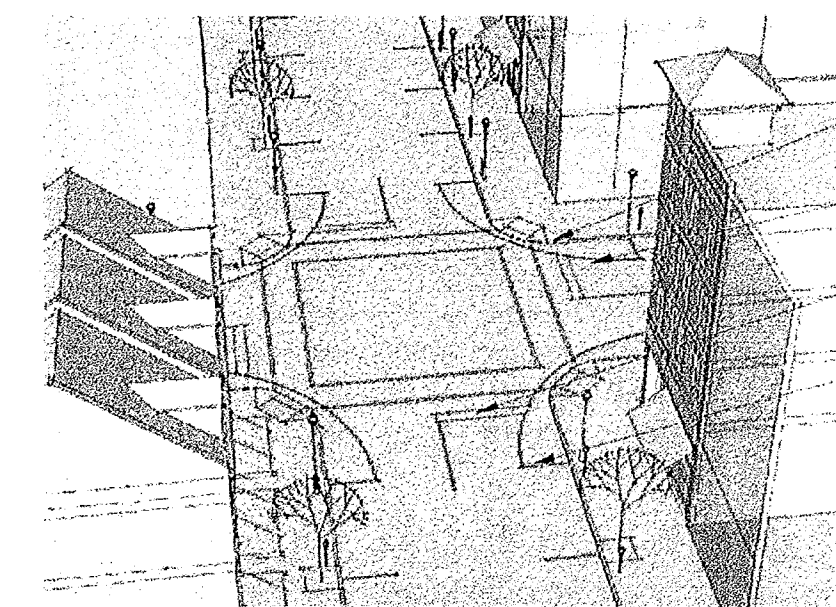
- \*Surface parking and decks shall be adequately lit in order to ensure pedestrian comfort and safety.

## Utility and HVAC Screening

- \*All utilities and HVAC units shall be located or screened to prevent view from the street and shall not be located along the front or side elevations of any building that faces the street. Screening should be of a solid fence or wall in keeping with the building, or native plant materials.



Merchandise zone  
Pedestrian zone  
Streetscape zone for trees, lights, traffic signs, benches and site amenities



6' to 18' Curb Radius with Curb Ramp  
35' Painted Radius  
Hold Stop Bars a minimum of 4 ft. back from Crosswalk  
Hold on-Street Parking a minimum of 20 ft. back from Crosswalk

NOTE: Coordinate streetscape and road improvements with Fairfax County, VDOT, ADA, and MUTCD requirements.

## A1 Streetscape Guidelines

1

2

## A3 Streetscape Diagram

3

## A4 Intersection Diagram

4

5

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www.shookkelley.com

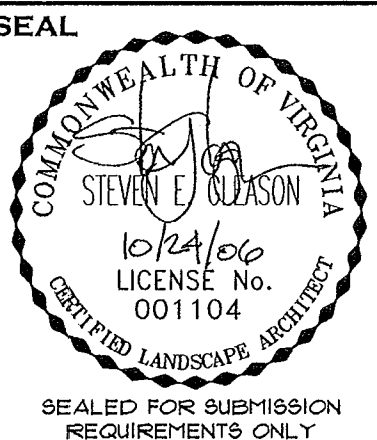
Perception Design™



NOT FOR CONSTRUCTION

The illustrations are guidelines to be used as an aid for designing the Mixed-Use, Retail, Live / Work and Residential buildings within the project. They should not be construed as a representation of the future development.

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LINCOLN  
PROPERTY  
COMPANY

ARCHITECTURAL DESIGN GUIDELINES  
EDS / LINCOLN PROPERTY  
SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

1 09/22/2005

Mark Date Description

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CAD File Name: 04072\_Design\_Guidelines.mcd  
Issue Date: 09.22.2005

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SHEET #

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(DP) (GDP) (CDB) (FDP)

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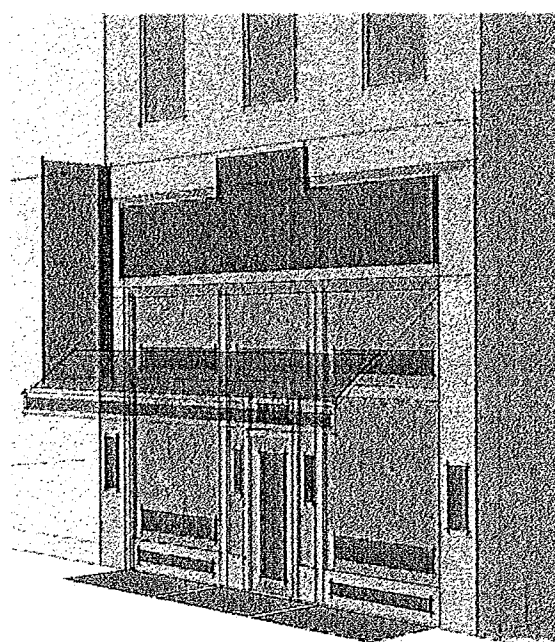
## 04: BUILDING SIGNAGE & LIGHTING

### Signs and Lighting

- \*Signs should be generally oriented to pedestrians and vehicular traffic.
- \*Business signs should not be located on the upper facade, but should be contained within the base.
- \*Signs should not cover up architectural features of the building.
- \*Window signs should not obscure the display area.
- \*Wholly backlit fascia panels or built up fascia covers are not permitted. Backlit letters are permitted. Intermitent, flashing or moving displays are not permitted.
- \*Signs should be subordinate to the building and fit within the existing features of the facade.
- \*The design and materials of lighting fixtures should be consistent with the character of the area and appropriate to the style of the buildings.
- \*Building mounted sign lights that carefully control the spread of light are an acceptable means of illuminating signage and sidewalk.
- \*Any illuminated signage should relate to the features of the building and the general character of the streetscene.
- \*Tenant lighting shall include separate circuits for storefront display lights. These lights shall remain on after hours to enliven the streetscape and supplement the street lighting.

### Signage Opportunities

The adjacent illustration represents a multitude of potential locations for signage. However, care should be taken to avoid visual clutter in applying too many signs to the storefront. Maximum signage shall not exceed 50% of all of the illustrated areas.



D

## D1 Architectural Guidelines

## 03: BUILDING FACADES

### Cornice

Buildings are composed of simple volumes, and are typically covered by flat roofs, although pitched roofs are not discouraged. The level of detail should increase for any building situated on a corner or at the end of a terminating vista. Parapets shall conceal flat roofs and all rooftop equipment such as heating, ventilation, and air conditioning (HVAC) units from typical street level view. Such parapets should feature three dimensional cornice treatment to define the building roofline, and may extend up to one foot over the Building Line.

### Roof Shapes

Buildings over 80 ft wide should be broken down into a series of smaller elements or bays to match the rhythm of the historic shop fronts. To add interest and reduce the massive scale of large buildings, variations in roof lines can be achieved through the use of over-hanging eaves, parapets, pool outs, height variations and entrance features. Simple rectangular shapes with horizontal roof forms should be predominant on commercial and mixed use structures. Simple rectangular volumes are preferred and can be accented by other shapes as details.

### Awnings

Awnings shall be either fixed or retractable and should fit within the architectural features of the building. They should project no more than 6 ft from the face of the building with an 8 ft clearance from the sidewalk to the underneath side of the awning. They should be completely supported by the building. Awnings should have a simple pitch. Barrel and mansard type awnings are not permitted. The awning should not extend from building edge to edge but occur only over the window openings they are located above.

### Canopies

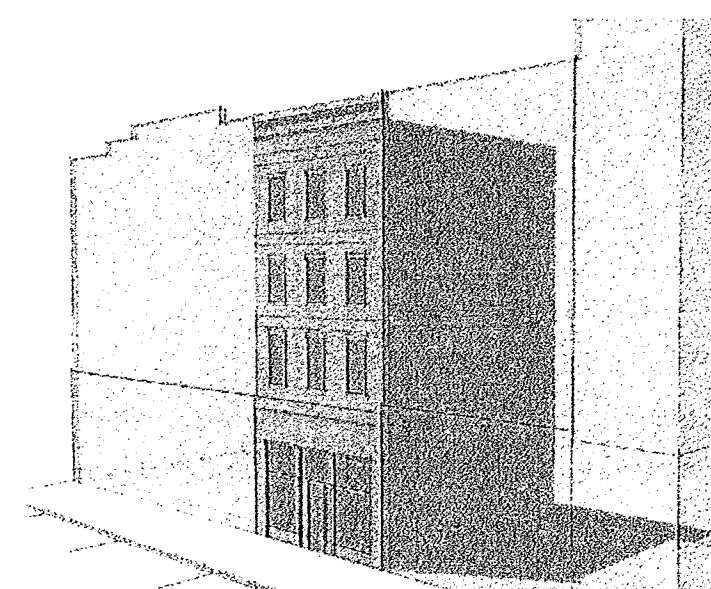
Canopies are fixed metal or glass projections, completely supported by the building. They should project no more than 6 ft from the face of the building with an 8 ft clearance from the sidewalk to the underneath side of the canopy. Canopies should be in keeping with the architectural style of the building. In some appropriate instances, based on traditional building style and condition, a canopy can wrap a corner, extending beyond the width of the window opening below.

### Windows

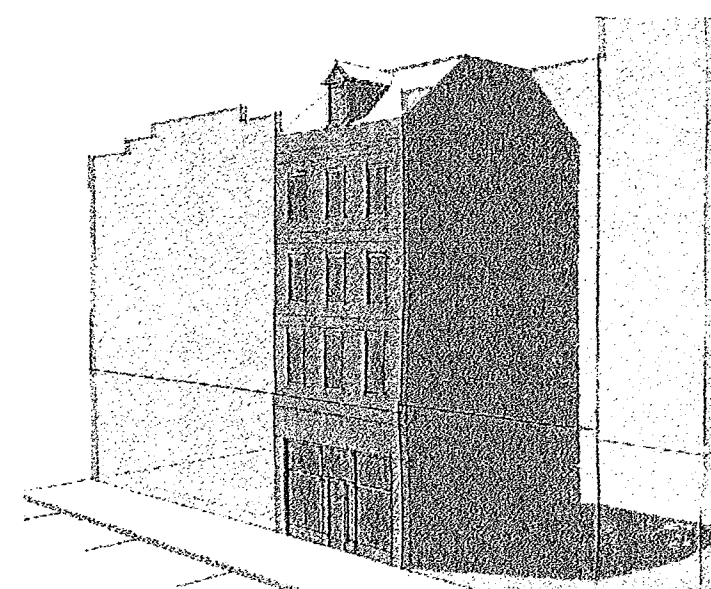
Upper windows should relate to the rhythm of the openings of the storefront at the street level. Upper story windows should be punched, vertical in proportion, and arranged in an orderly rhythm. Bays of windows & doors can be used if they are contained within the building mass. Second story windows shall have an 8 ft 9 ft head height and third story windows shall have 7 ft to 8 ft head height.

### Arcades/ Porches/ Balconies

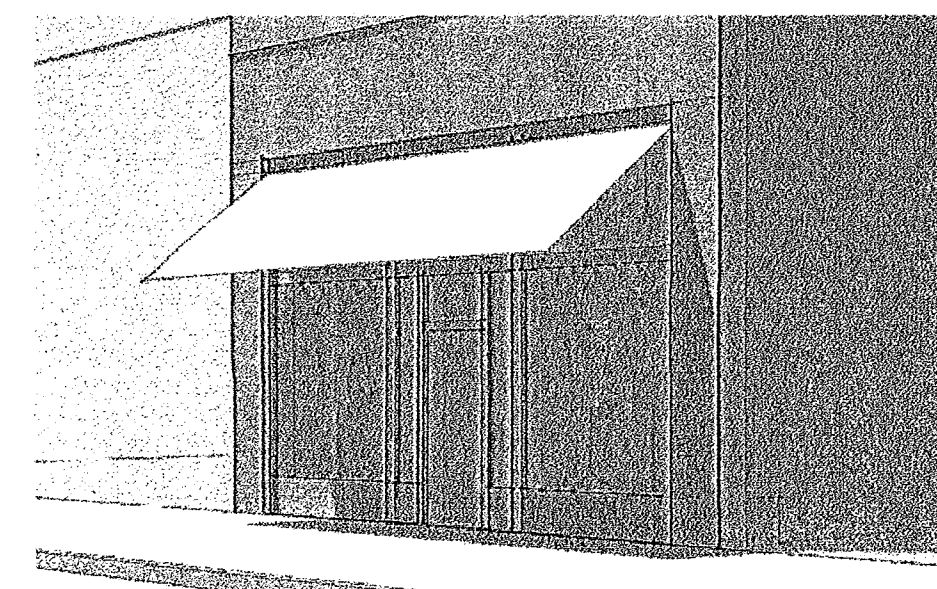
- \*Arcades should overlap the sidewalk above while the ground story remains set back at the lot line. The face of the arcade should extend to within 2 ft of the curb (in place of street trees and street lights), maintaining visibility into the storefront. Lighting within the arcade shall provide illumination for the sidewalk. Hold arcades back from corners to respect sight triangles.
- \*Porches shall be oriented to the front and side street on a corner lot.
- \*Balconies shall project no more than 2 ft from the face of the building with an 8 ft clearance from the sidewalk to the underneath side of the balcony.



Roof Shape - Flat Roof



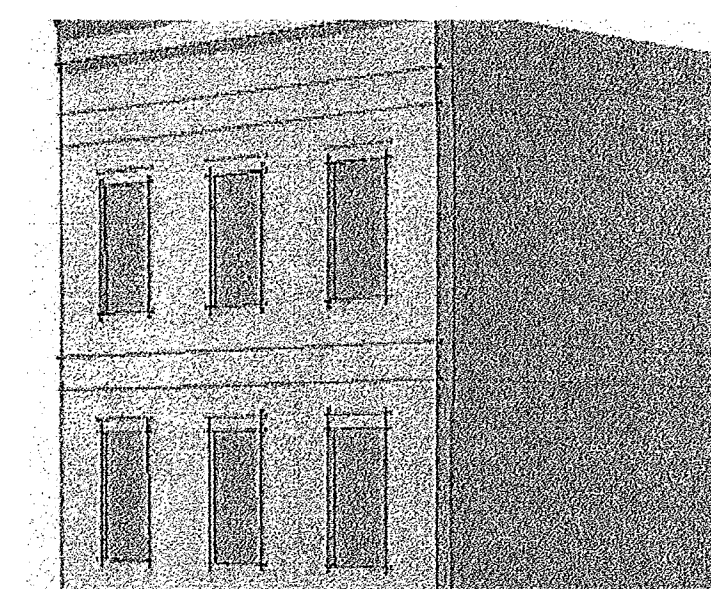
Roof Shape - Pitched Roof



Awning - Contained within the building elements



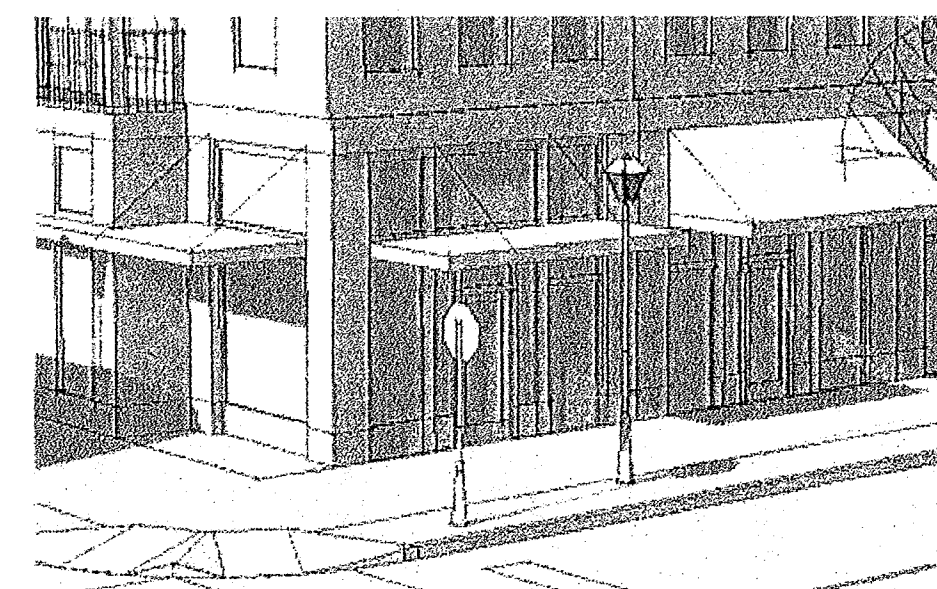
Balcony - 2 ft projection over the sidewalk



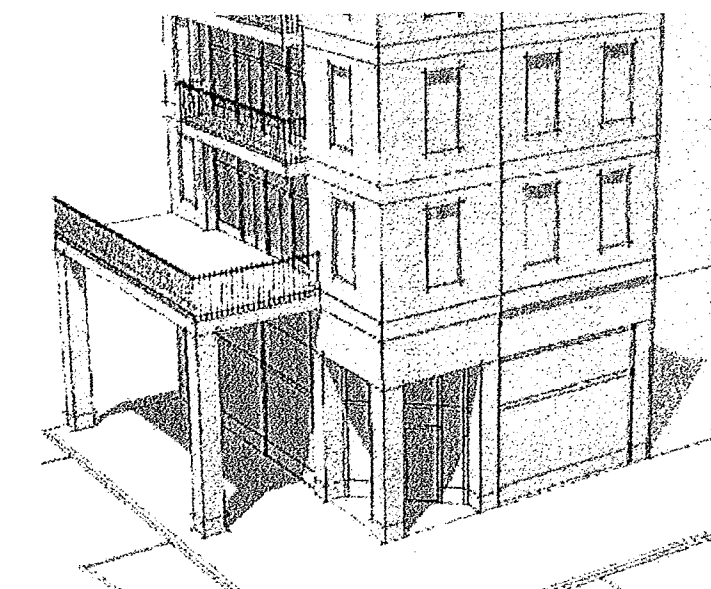
Windows - Punched Openings



Windows - Bays of windows contained within the building elements

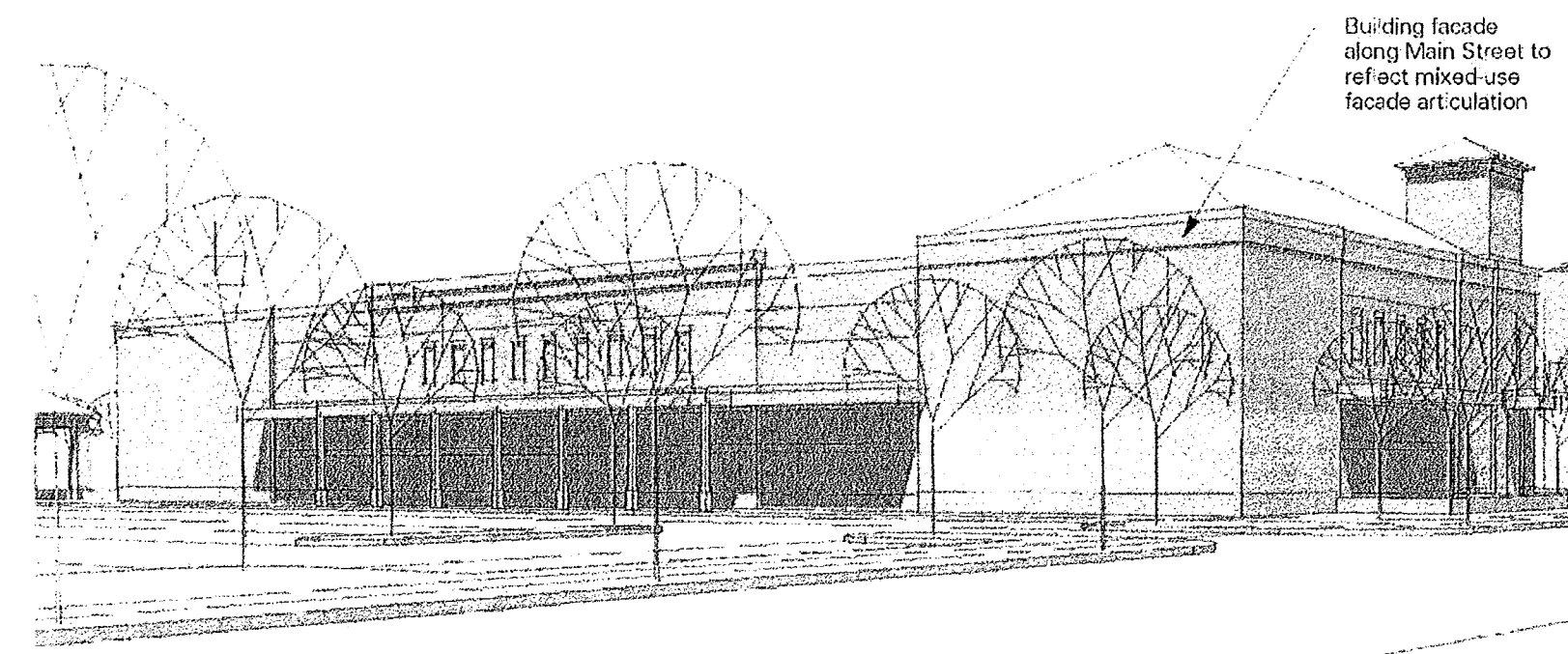


Canopies and Awnings

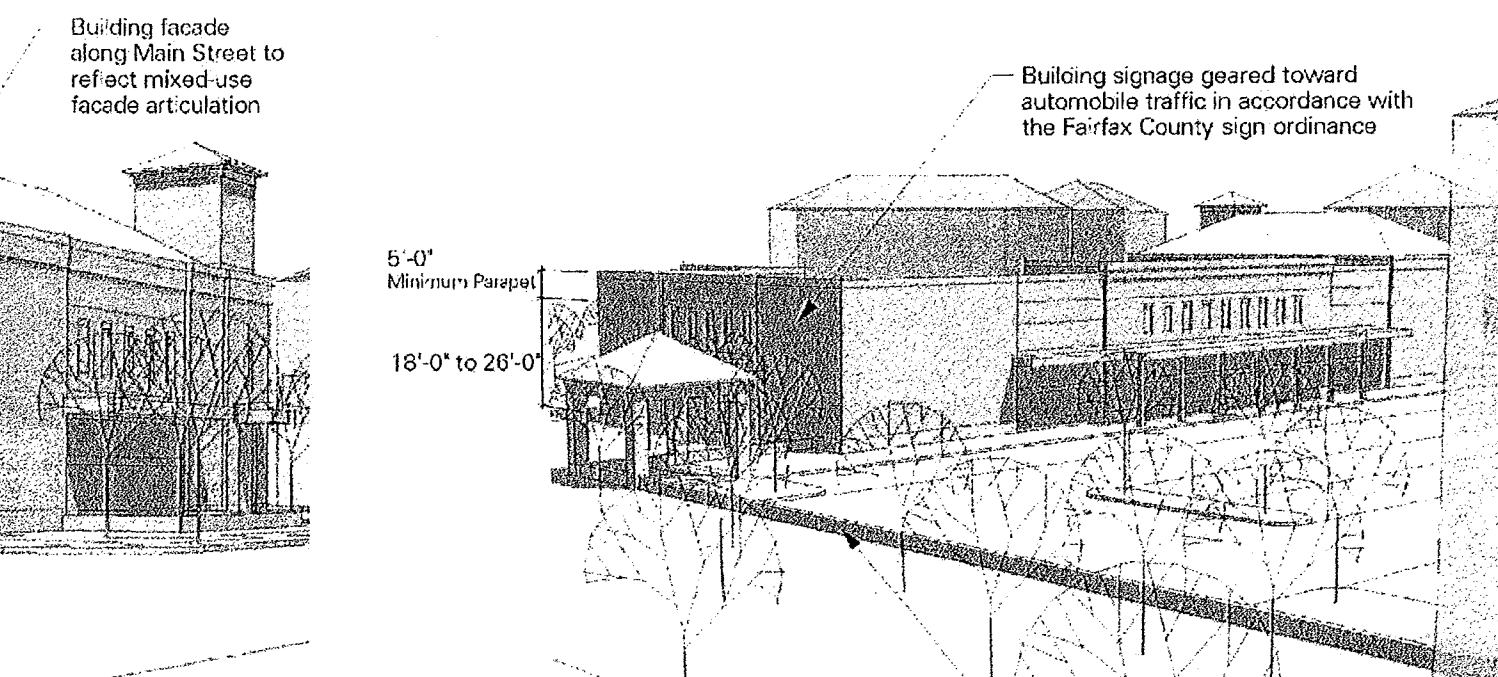


Arcade and Corner Entry

## B1 Architectural Guidelines

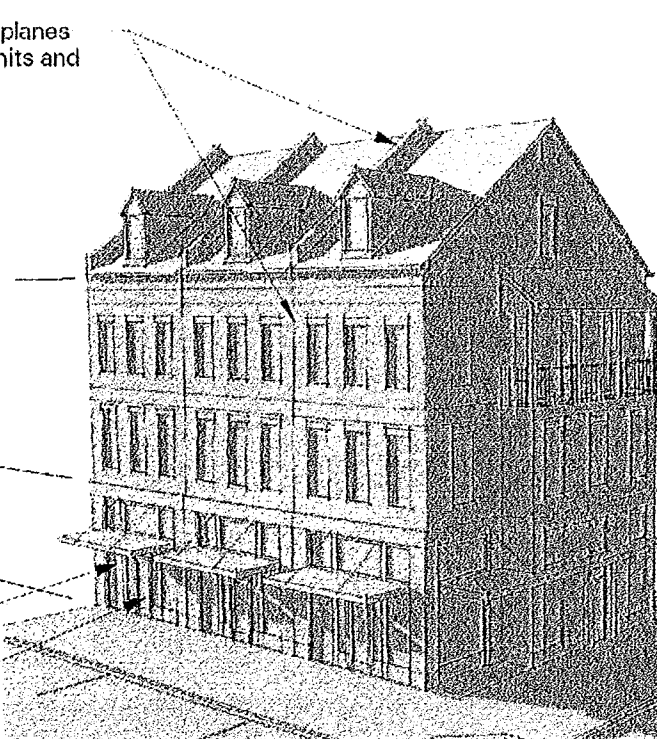


View from Main Street



View from Centreville

Changes in building planes and articulation of units and bays too maintain a residential scale



Live / Work Facade Heights

Changes in roof and plate heights designed to add interest and break up massing



Access to streets or patios from first floor units.

**Note:** Accessibility to units shall comply with all applicable regulatory and Fair Housing Act requirements.

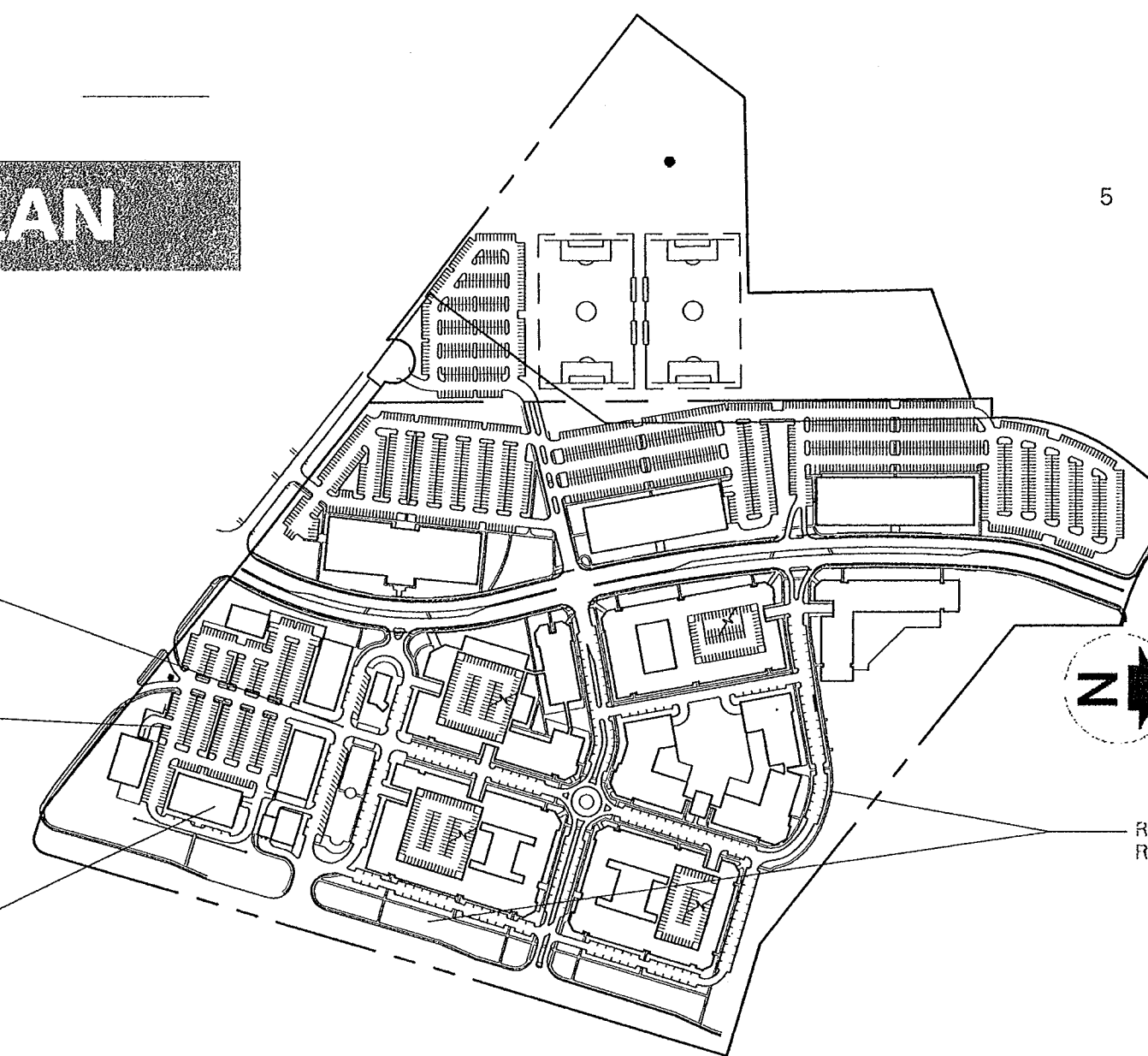
## 05: KEY PLAN

LIVE / WORK - REFER TO A4/SHEET 14

TYPICAL COMMERCIAL INTERSECTION W/ ON STREET PARKING - REFER TO A4/SHEET 13

CONVENIENCE RETAIL - REFER TO A1/SHEET 14

COMMERCIAL ZONE: REFER TO 01 - 'BUILDING SITE & STREETScape', 02 - 'BUILDING SCALE & MASSING', AND 03 - 'BUILDING FACADES' ON SHEET 13 AS WELL AS 03 - 'BUILDING FACADES' AND 04 - 'BUILDING SIGNAGE & LIGHTING' ON SHEET 14



RESIDENTIAL STREETScape ZONE: REFER TO A5/SHEET 14

## D4 Key Plan N.T.S.

## A1 Convenience Retail

1

2

3

## A4 Live / Work

4

## A5 Residential Streetscape

5

## shook kelley

2151 Hawkins Street Suite 400 Charlotte, NC 28203-4927  
850 South Robertson Blvd. Suite One Los Angeles, CA 90036-1621

T 704 377 0861 F 704 377 0953  
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www.shookkelley.com

Perception Design



NOT FOR CONSTRUCTION

The illustrations are guidelines to be used as an aid for designing the Mixed-Use, Retail, Live / Work and the Residential buildings within the project. They should not be construed as a representation of the future development.

### REVISIONS

JANUARY 30, 2006
MARCH 20, 2006
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## LINCOLN PROPERTY COMPANY

Application No RZ/FDP-2006-SU-007 Staff JD Moss  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)

Date of (BOS) (PC) Dec 4, 2006  
Sheet 17 of 26

1	09/22/2005	
Mark	Date	Description

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Project name#: Dulles / 04072  
CAD File Name: 04072\_Design\_Guidelines.mcd  
Issue Date: 09.22.2005

### Architectural Design Guidelines

## DG-02

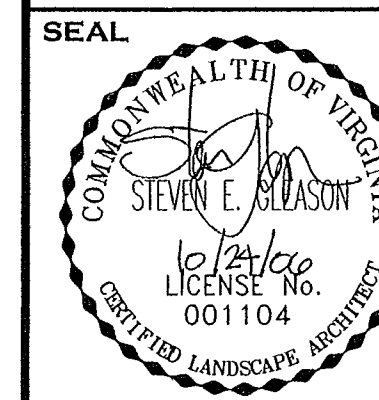
ARCHITECTURAL DESIGN GUIDELINES

## EDS / LINCOLN PROPERTY

SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE	N/A
DATE	FEBRUARY 1, 2006
DRAWN	DK/NY/OFS
CHECKED	SEG
JOB #	0640-1518
CAD FILE	0640-AG.dwg
SHEET #	17 OF 26

William H. Gordon Associates, Inc.  
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### LANDSCAPE LEGEND

TREE TYPE	SPECIES (TYP.)	SIZE (TYP.)
• SHADE TREE	RED MAPLE AMERICAN ELM NEW HARMONY WILLOW OAK HONEY LOCUST	3'-3 1/2' CALIPER (12-15' HT.)
• ORNAMENTAL TREE	FLOWERING CRABAPPLE KOUSA DOGWOOD CHERRY JAPANESE SNOWBELL	1 1/2'-2' CALIPER (8'-10' HT.)
• EVERGREEN TREE	AUSTRIAN PINE LEYLAND CYPRESS SPRUCE HOLLY	6'-7' HEIGHT
• EVERGREEN SHRUB	ABELIA BOXWOOD YEW HOLLY	30-36' HEIGHT
• DECIDUOUS SHRUB	VIBURNUM SPIRAEA KOREAN LILAC AZALEA	30-36' HEIGHT
• GROUND COVER		

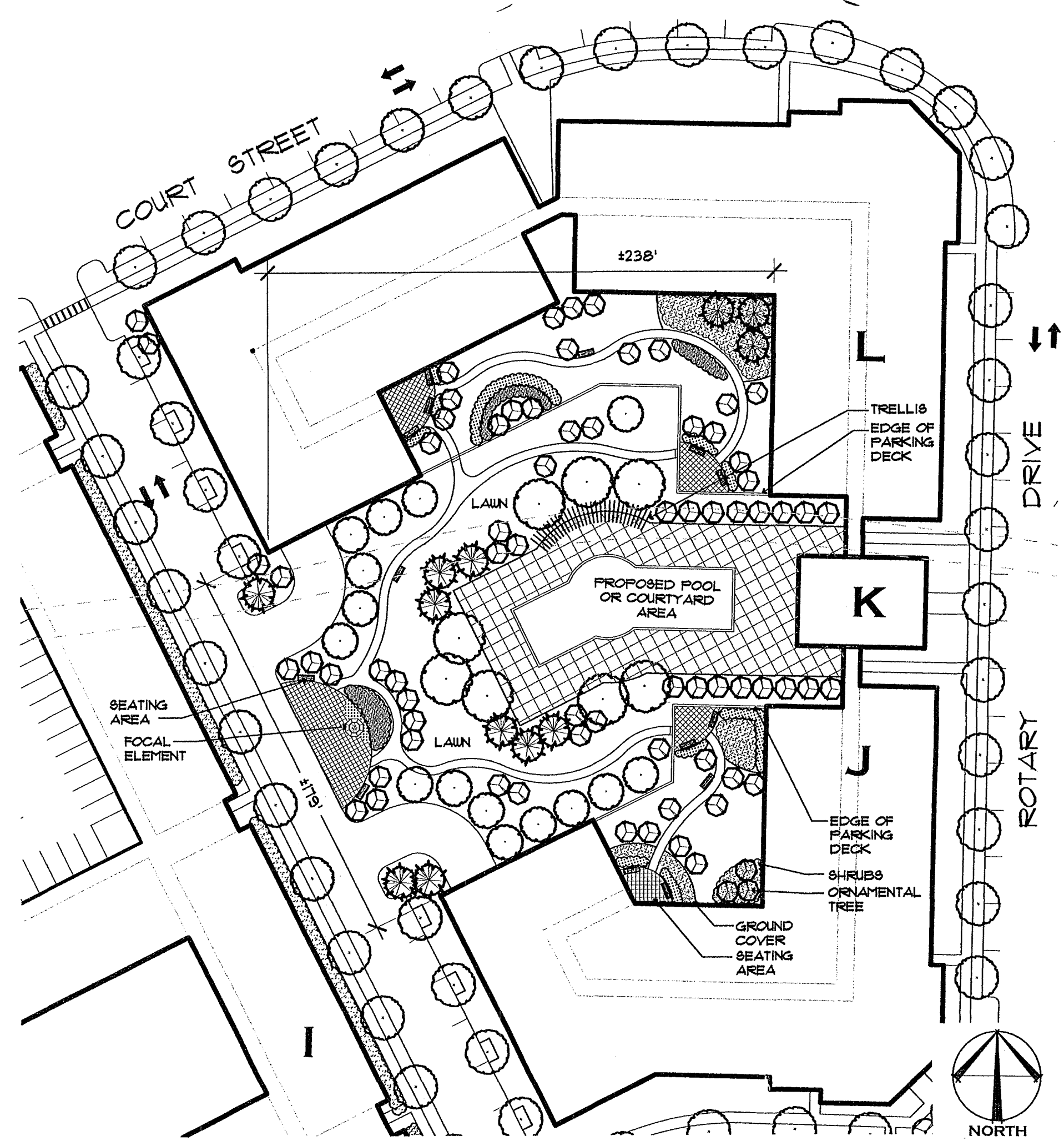
### NOTES

ACTIVE RECREATION AREAS WILL FEATURE COMMUNITY POOLS, AND/OR SPORT COURTS SUCH AS TENNIS, BASKETBALL, VOLLEYBALL AND/OR PLAYGROUNDS.

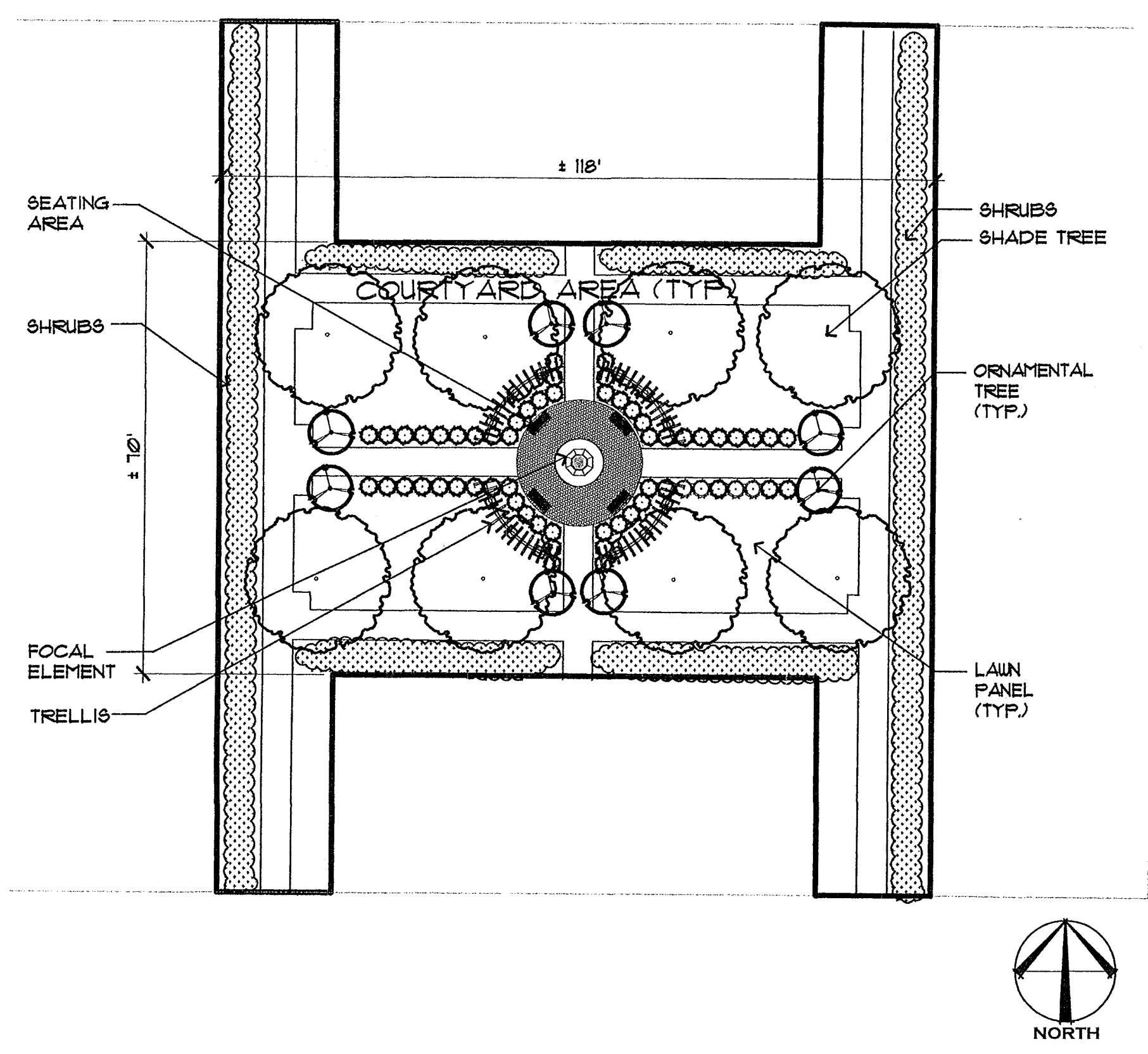
PASSIVE AREAS WILL INCLUDE SUCH FEATURES AS GARDENS, BENCHES, FOCAL ELEMENTS (WATER FEATURES, SPECIMEN PLANTINGS OR SCULPTURES) AND LAWN PANELS

Application No RZ/EDP-2006-SU-007 Staff JD Moss  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)

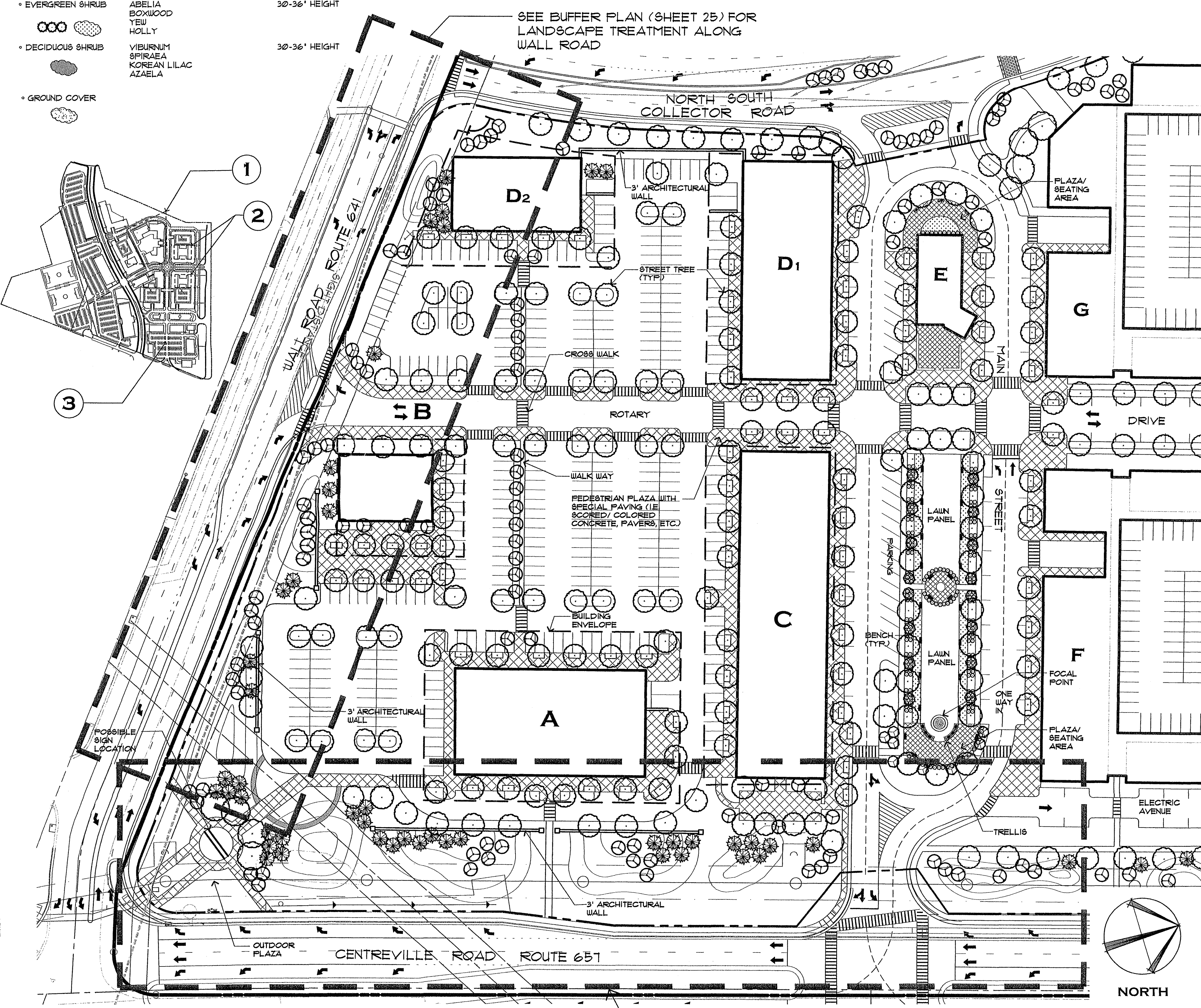
Date of (ROS) (PC) Dec 4, 2006  
Sheet 18 of 26



**1 ACTIVE RECREATION AREA - BLOCK 6**  
SCALE: 1" = 50'-0"



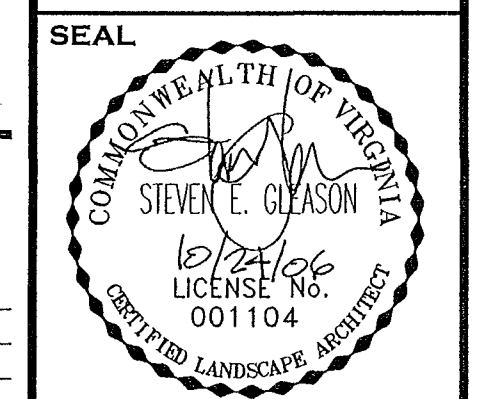
**2 PASSIVE RECREATION AREA - BLOCKS 3 AND 5**  
SCALE: 1" = 20'-0"



**3 RETAIL PLAZA - BLOCKS 1 AND 2**  
SCALE: 1" = 50'-0"

SEE BUFFER PLANS (SHEETS 19 & 20) FOR LANDSCAPE TREATMENT & STREETSCAPE PHASING ALONG CENTREVILLE ROAD

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REVISIONS

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MARCH 20, 2006
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OCTOBER 24, 2006

COMMUNITY SITE AMENITIES  
**EDS / LINCOLN PROPERTY**  
SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE AS NOTED

DATE FEBRUARY 1, 2006

DRAWN DK/NY/OFS

CHECKED SEG

JOB # 0640-1518

CAD FILE 0640-SA.dwg

SHEET # 18 OF 26

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# LANDSCAPE LEGEND

# PHASE

TREE TYPE	SPECIES (TYP.)	SIZE (TYP.)
SHADE TREE	RED MAPLE	3-3 1/2' CALIPER (12-15' HT.)
	AMERICAN ELM 'NEW HARMONY'	
	WILLOW OAK	SIZES ARE FOR ALONG PUBLIC AND PRIVATE STREETS
ORNAMENTAL TREE	FLOWERING CRABAPPLE	1 1/2-2' CALIPER (8'-10' HT.)
	KOUSSA DOGWOOD	
	CHERRY	
	JAPANESE SNOWBELL	
EVERGREEN TREE	AUSTRIAN PINE	6-7' HEIGHT
	LEYLAND CYPRESS	
	SPRUCE	
	HOLLY	
EVERGREEN SHRUB	ABELIA	24-30' HEIGHT
	BOXWOOD	
	YEW	
DECIDUOUS SHRUB	VIBURNUM	24-30' HEIGHT
	SPIRAEA	
	KOREAN LILAC	
	AZALEA	
GROUND COVER		

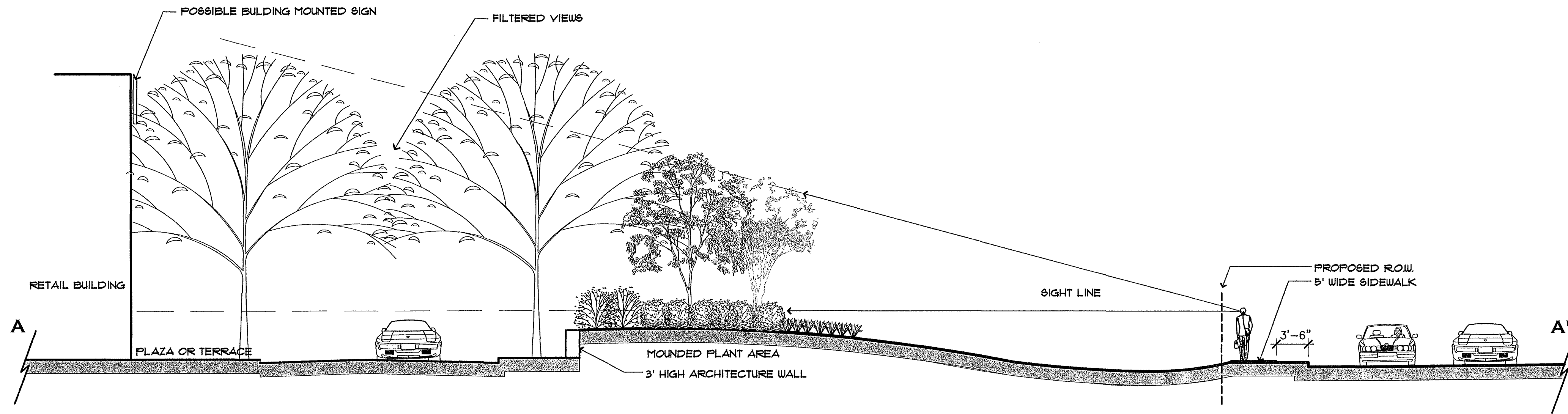
PHASE 1

PHASE 1 & 2

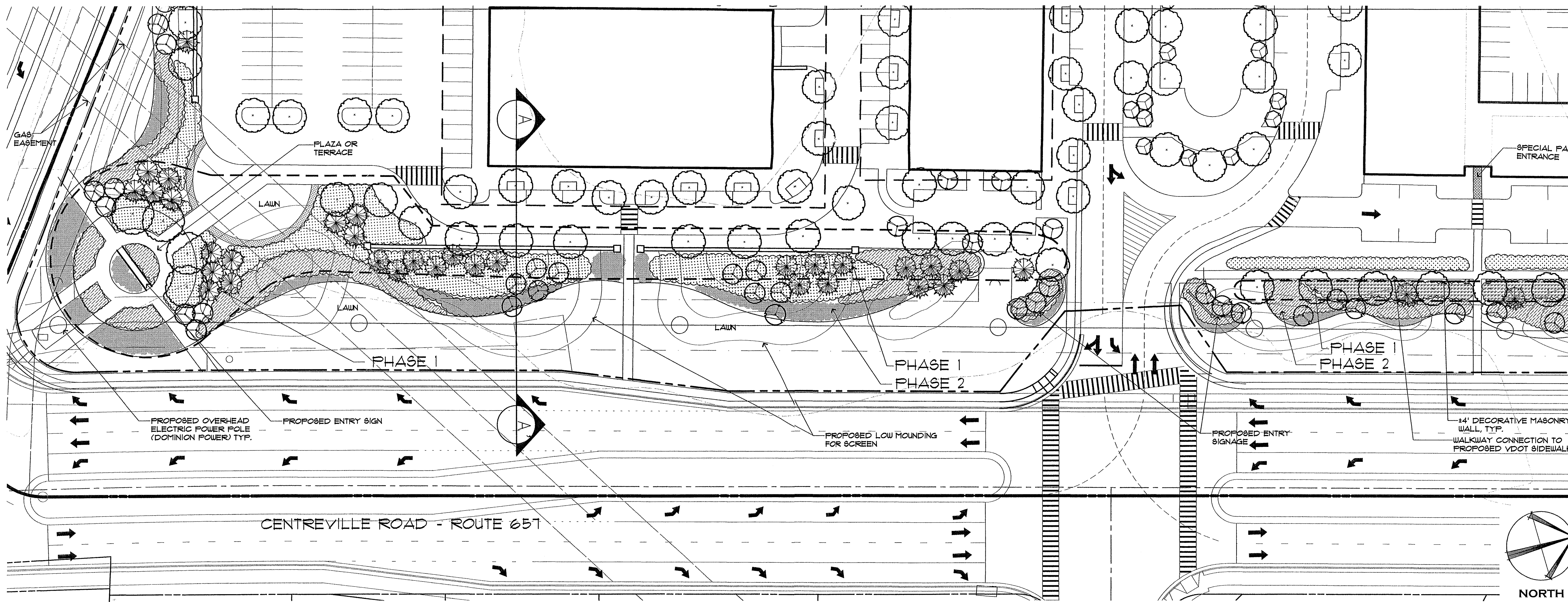
PHASE 2

## LANDSCAPE NOTES:

- SEE PROFFERS REGARDING LANDSCAPE AND DESIGN DETAILS.
- THE PROPOSED LANDSCAPE SHALL BE UTILIZED TO MEET MINIMUM TREE COVER REQUIREMENTS FOR MULTI-FAMILY USES. SEE TREE COVER CALCULATIONS.
- SEE NOTE 12 ON SHEET 2 REGARDING TRANSITIONAL SCREEN YARD WAIVERS/MODIFICATIONS.
- INTERIOR COURTYARDS TO CONTAIN A MINIMUM 50% GREEN SPACE (LAWN, SHRUBS, AND/OR GROUND COVER-PERENNIALS).
- STREET TREES SHALL BE SUITABLE TO WITHSTAND ADVERSE URBAN CONDITIONS. POSSIBLE STREET TREES TO INCLUDE LONDON PLANETREE AND/ OR AMERICAN ELM 'NEW HARMONY'. THE AMERICAN ELM IS CONSIDERED TO BE ONE OF THE BEST STREET TREES, TOLERATING VERY LIMITED SPACE AND LASTING FOR DECADES. THE NEW HARMONY IS A DISEASE RESISTANT USDA VARIETY THAT HAS NOT BEEN SUSCEPTIBLE TO DUTCH ELM DISEASE SINCE ITS INTRODUCTION.
- ALL TREES TO BE LOCATED A MIN 5' OFF PUBLIC UTILITY EASEMENTS PER FAIRFAX COUNTY PFM.
- TREES ON PLAZA WILL BE LOCATED IN ENGINEERED PLANTING SOIL.



**1** SECTION - ELEVATION A-A'  
SCALE: 1" = 8'-0"



**2** CENTREVILLE ROAD WIDENING AND IMPROVEMENTS PLAN  
SCALE: 1" = 30'-0"

Application No RZ/FDP-2006-SU-007 Staff JD Moss  
**APPROVED DEVELOPMENT PLAN**  
 (DP) (GDP) (CDP) (FDP)  
 Date of (RQS) (PC) Dec 4, 2006  
 Sheet 19 of 26

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**WGA**  
 ENGINEERS - SURVEYORS - PLANNERS - LANDSCAPE ARCHITECTS

SEAL  
 COMMONWEALTH OF VIRGINIA  
 STEVEN E. GLEASON  
 1024106  
 LICENSE No. 001104  
 LANDSCAPE ARCHITECT

REVISIONS

JANUARY 30, 2006
MARCH 20, 2006
APRIL 21, 2006
JUNE 30, 2006
AUGUST 18, 2006
SEPT. 1, 2006
SEPT. 15, 2006
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OCTOBER 24, 2006

CENTREVILLE ROAD BUFFER PLAN  
**EDS / LINCOLN PROPERTY**  
 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE AS NOTED  
 DATE FEBRUARY 1, 2006  
 DRAWN DK/NY/OFS  
 CHECKED SEG  
 JOB # 0640-1518  
 CAD FILE 0640-BP.dwg  
 SHEET # 19 OF 26

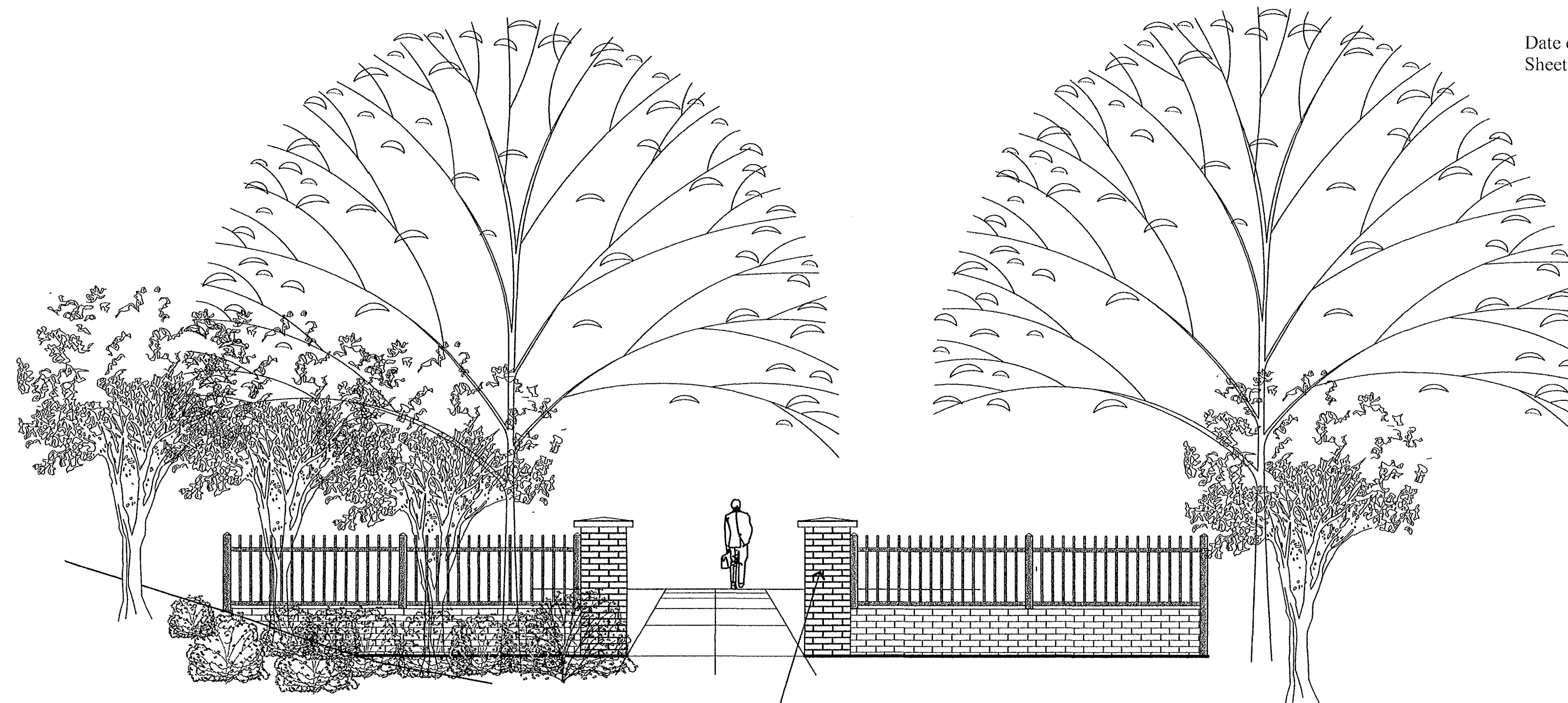


# LANDSCAPE LEGEND

TREE TYPE	SPECIES (TYP.)	SIZE (TYP.)
SHADE TREE	RED MAPLE AMERICAN ELM 'NEW HARMONY' WILLOW OAK HONEY LOCUST	3-3 1/2" CALIPER (12-15' HT.) SIZES ARE FOR ALONG PUBLIC AND PRIVATE STREETS
ORNAMENTAL TREE	FLOWERING CRABAPPLE KOUSA DOGWOOD CHERRY JAPANESE SNOWBELL	1 1/2-2" CALIPER (8'-10' HT.)
EVERGREEN TREE	AUSTRIAN PINE LEYLAND CYPRESS SPRUCE HOLLY	6'-7' HEIGHT
EVERGREEN SHRUB	ABELIA BOXWOOD YEW HOLLY	24-30" HEIGHT
DECIDUOUS SHRUB	VIBURNUM SPIRAEA KOREAN LILAC AZALEA	24-30" HEIGHT
GROUND COVER		

# PHASE

- PHASE 1
- PHASE 1 & 2
- PHASE 2

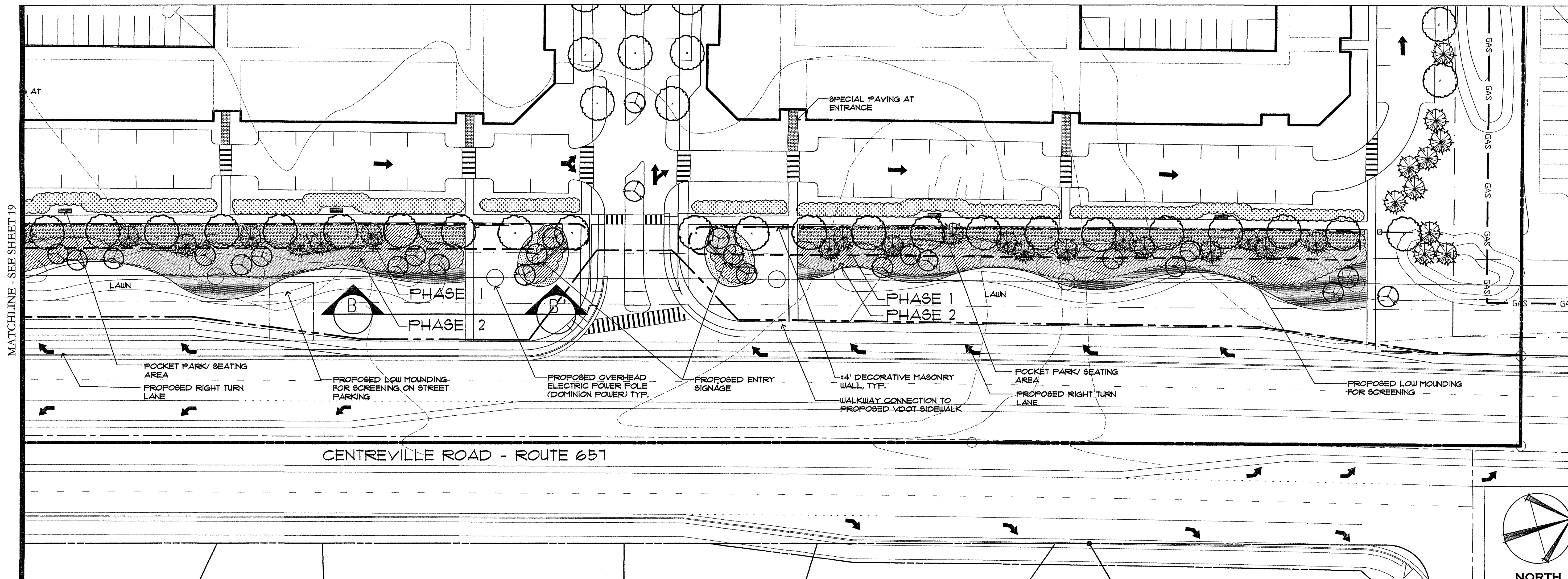


PILLAR AND WALL STYLE TO MATCH ARCHITECTURE OF BUILDINGS

**1 SECTION - ELEVATION B-B' 4' DECORATIVE MASONRY WALL**  
SCALE: 1" = 5'-0"

# LANDSCAPE NOTES:

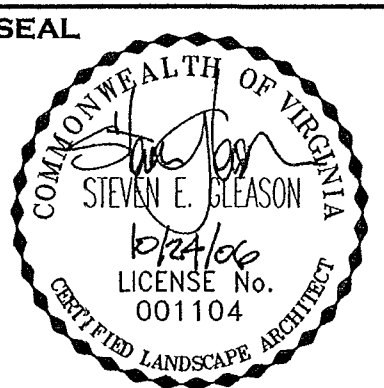
- THE LANDSCAPE DESIGN SHOWN IS FOR ILLUSTRATIVE PURPOSES TO REPRESENT TYPICAL PLANTING CONCEPTS THAT PORTRAY THE GENERAL APPEARANCE AND CHARACTER FOR THE PROJECT. THE APPLICANT RESERVES THE OPTION TO MODIFY THE PLAN BASED ON FINAL ENGINEERING DESIGN AND DETERMINATION OF REQUIRED EASEMENTS AND UTILITIES.
- SEE SHEET 2, NOTES AND TABULATIONS REGARDING TRANSITIONAL SCREEN YARD WAIVERS/ MODIFICATIONS.
- THE PROPOSED LANDSCAPE SHALL MEET THE MINIMUM TREE COVER REQUIREMENTS FOR OFFICE, RETAIL, AND MULTI-FAMILY USES.
- INTERIOR COURTYARDS TO CONTAIN A MINIMUM 50% GREEN SPACE (LAWN, SHRUBS, AND/OR GROUND COVER PERENNIALS).
- STREET TREES SHALL BE SUITABLE TO WITHSTAND ADVERSE URBAN CONDITIONS. POSSIBLE STREET TREES TO INCLUDE LONDON PLANETREE AND/ OR AMERICAN ELM 'NEW HARMONY'. THE AMERICAN ELM IS CONSIDERED TO BE ONE OF THE BEST STREET TREES, TOLERATING VERY LIMITED SPACE AND LASTING FOR DECADES. THE NEW HARMONY IS A DISEASE RESISTANT USDA VARIETY THAT HAS NOT BEEN SUSCEPTIBLE TO DUTCH ELM DISEASE SINCE ITS INTRODUCTION.
- ALL TREES TO BE LOCATED A MIN 5' OFF PUBLIC UTILITY EASEMENTS PER FAIRFAX COUNTY PFI.



**2 CENTREVILLE ROAD WIDENING AND IMPROVEMENTS PLAN**  
SCALE: 1" = 30'-0"

Application No RZ/EFP-2006-SU-007 Staff JD Moss  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)  
Date of (ROS) (PC) Dec 4, 2006  
Sheet 20 of 26

**William H. Gordon Associates, Inc.**  
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Chantilly, VA 20151  
PHONE 703-263-1800  
FAX 703-263-0766  
ENGINEERS - SURVEYORS - PLANNERS - LANDSCAPE ARCHITECTS

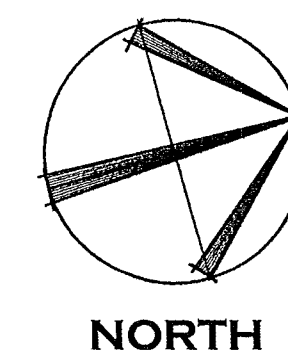


REVISIONS

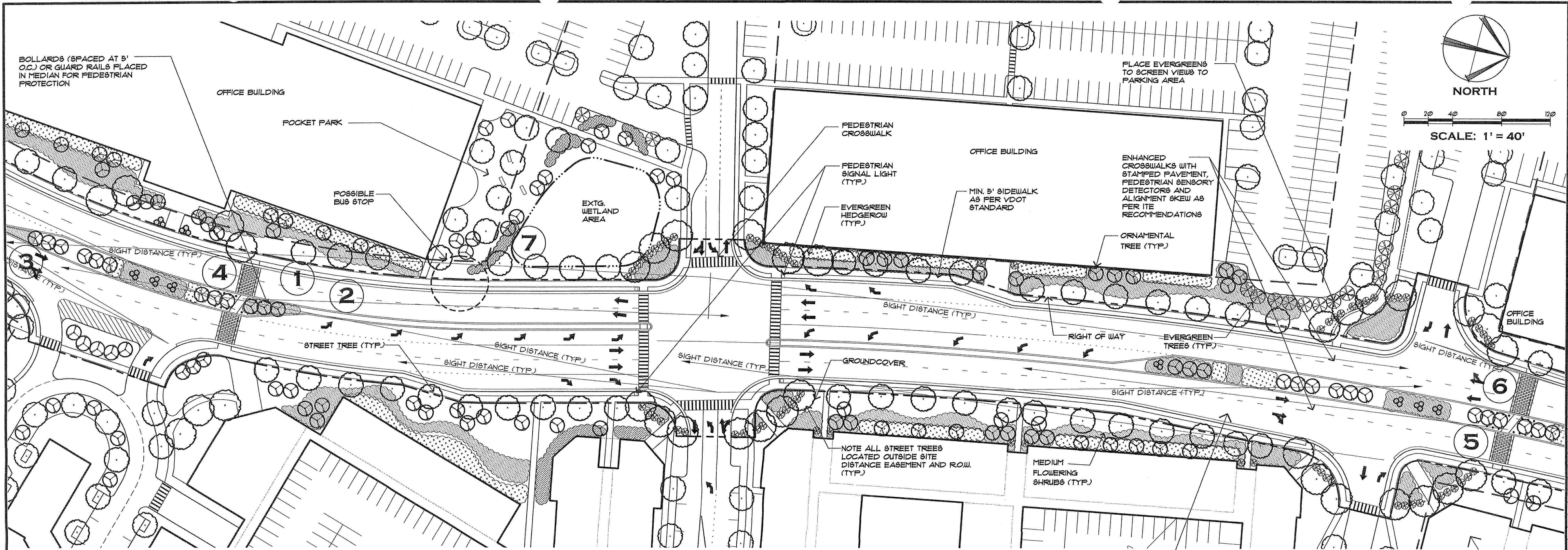
JANUARY 30, 2006
MARCH 20, 2006
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CENTREVILLE ROAD BUFFER PLAN  
**EDS / LINCOLN PROPERTY**  
SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

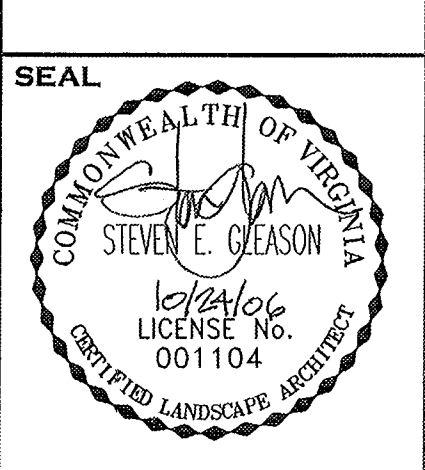
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DATE	FEBRUARY 1, 2006
DRAWN	DK/NY/OFS
CHECKED	SEG
JOB #	0640-1518
CAD FILE	0640-BP.dwg
SHEET #	20 OF 26







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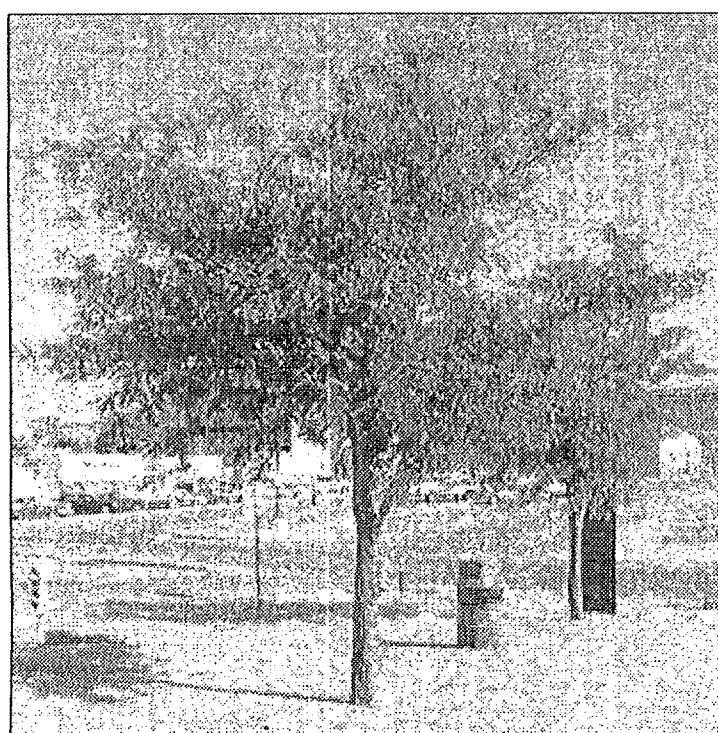


**REVISIONS**

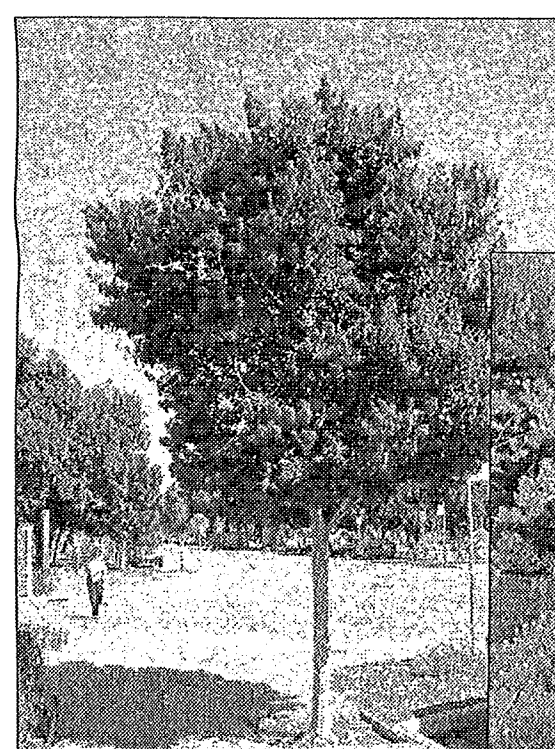
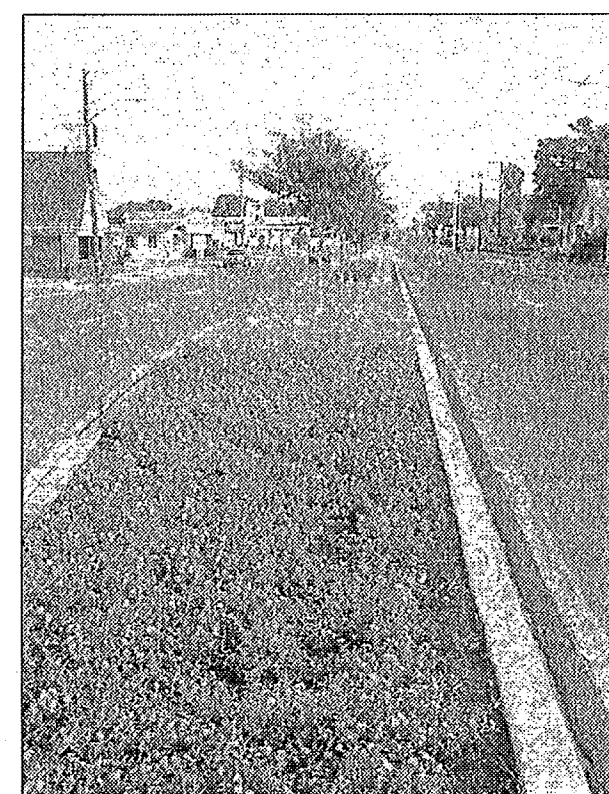
JANUARY 30, 2006
MARCH 20, 2006
APRIL 21, 2006
JUNE 30, 2006
AUGUST 18, 2006
SEPT. 1, 2006
SEPT. 15, 2006
OCTOBER 9, 2006
OCTOBER 24, 2006

**COLLECTOR ROAD ENLARGEMENT**

SCALE: 1" = 40'-0"



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 APPROVED DEVELOPMENT PLAN  
 (DP) (GDP) (CDP) (FDP)  
 Date of (ROS) (PC) Dec 4, 2006  
 Sheet 21 of 26



NOTE:  
 LANDSCAPING SHOWN IN MEDIAN SHALL  
 BE PROVIDED SUBJECT TO VDOT  
 PERMITS FOR PLANTING IN RIGHT OF WAY

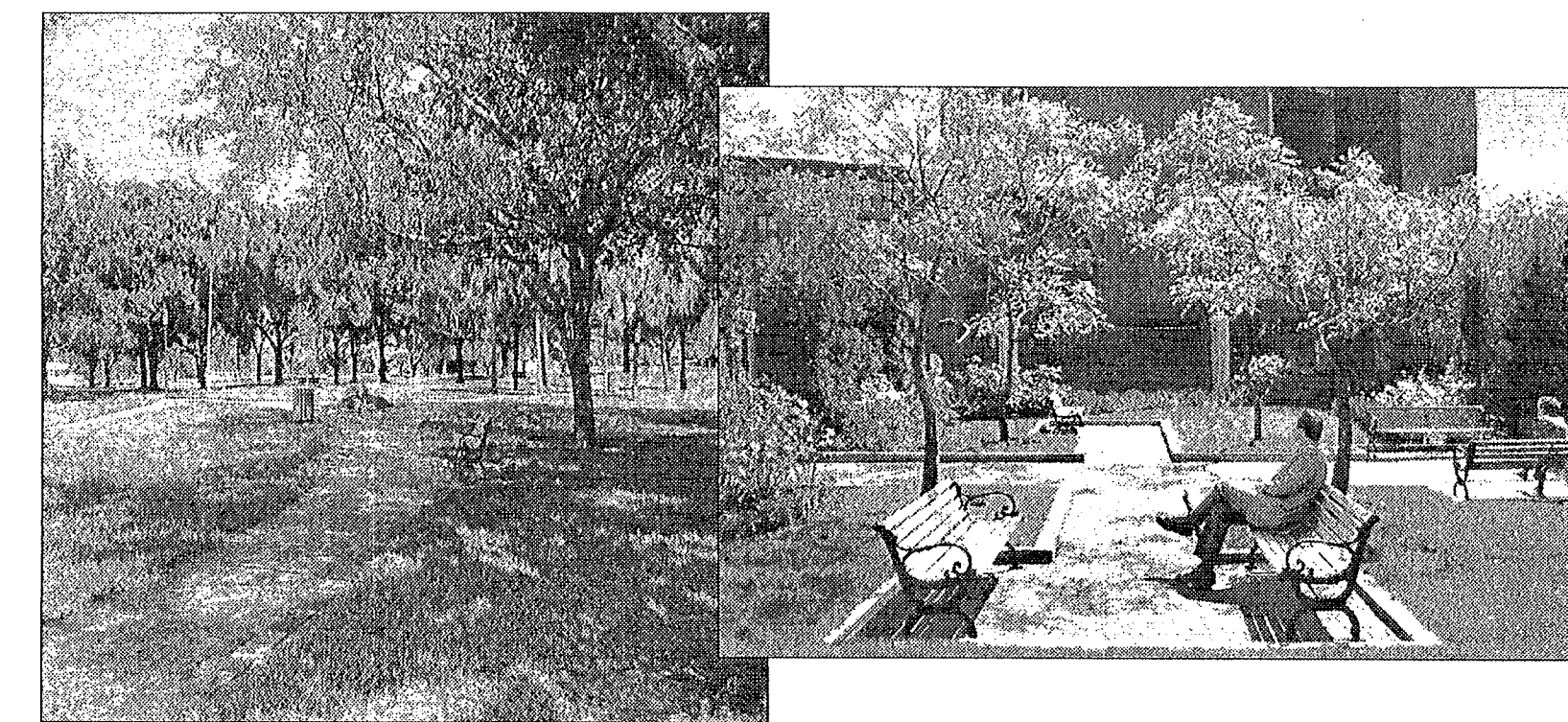
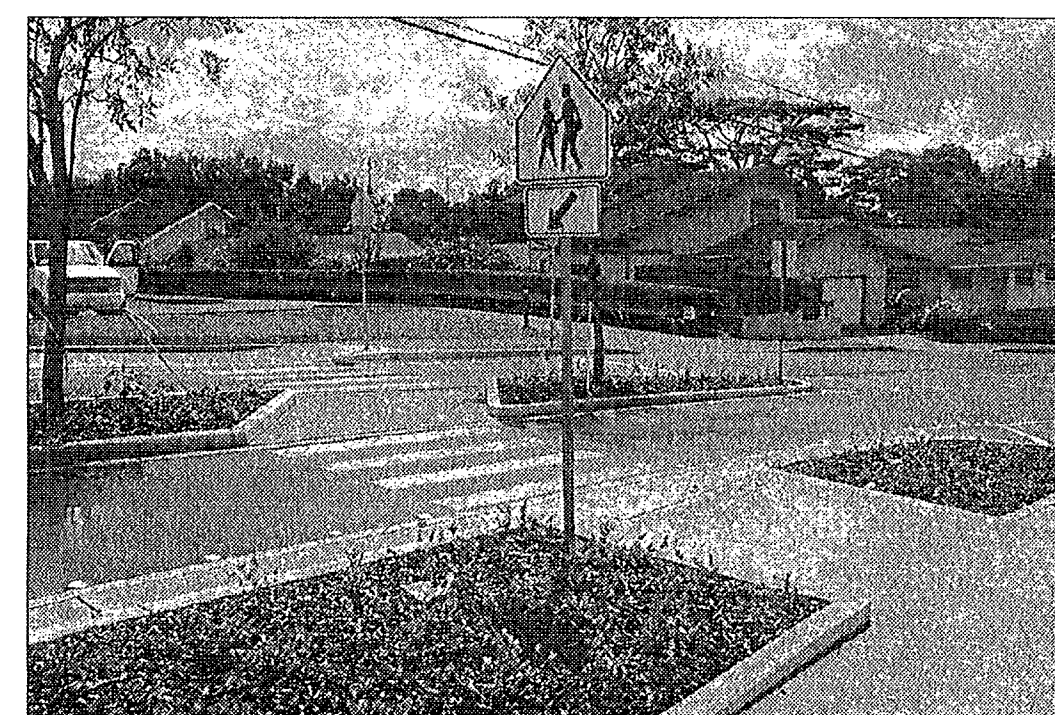
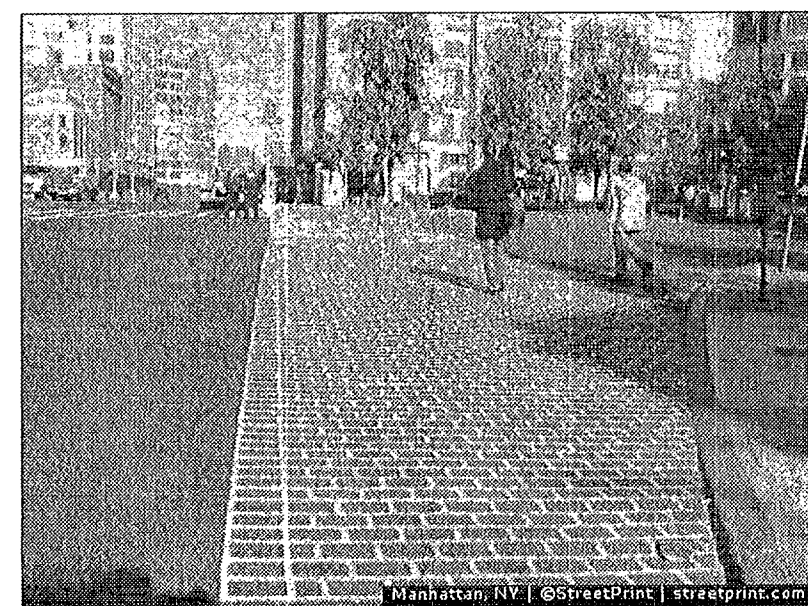
**LANDSCAPE LEGEND**

TREE TYPE	SPECIES (TYP.)	SIZE (TYP.)
• SHADE TREE	RED MAPLE AMERICAN ELM NEW HARMONY WILLOW OAK HONEY LOCUST	3-3 1/2" CALIPER (12-15' HT.)
• ORNAMENTAL TREE	FLOWERING CRABAPPLE KOUSA DOGWOOD CHERRY JAPANESE SNOWBELL	1 1/2-2" CALIPER (8'-10' HT.)
• EVERGREEN TREE	AUSTRIAN PINE LEYLAND CYPRESS SPRUCE HOLLY	6-7' HEIGHT
• EVERGREEN SHRUB	ABELIA BOXWOOD YEW HOLLY	24-30' HEIGHT
• DECIDUOUS SHRUB	VIBURNUM SPIRAEA KOREAN LILAC AZAELA	24-30' HEIGHT
• GROUND COVER		

**1 STREET TREES**  
 (I.E. HONEYLOCUST, PLANETREE,  
 NEW HARMONY ELM, ETC.)

**2 PLANTING AT MEDIAN**  
 (I.E. LOW SHRUBS, PERENNIALS, GROUNDCOVER, ETC.)

**3 FLOWERING TREES**  
 (I.E. CRAPMYRTLE, CHERRY ETC.)



**4 ENHANCED CROSSWALKS**  
 (WIDE STAMPED ASPHALT OR CONCRETE  
 WALKS, PEDESTRIAN SENSORS)

**5 PROTECTION AT MEDIAN**  
 (METAL BOLLARDS OR GUARDRAIL)

**6 INTENTIONAL JOG  
 AT CROSSWALK**

**7 POCKET PARK**

COLLECTOR RD. PEDESTRIAN ENHANCEMENTS & STREETSCAPE

**EDS / LINCOLN PROPERTY**  
 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE AS NOTED

DATE FEBRUARY 1, 2006

DRAWN DK/NY/OFS

CHECKED SEG

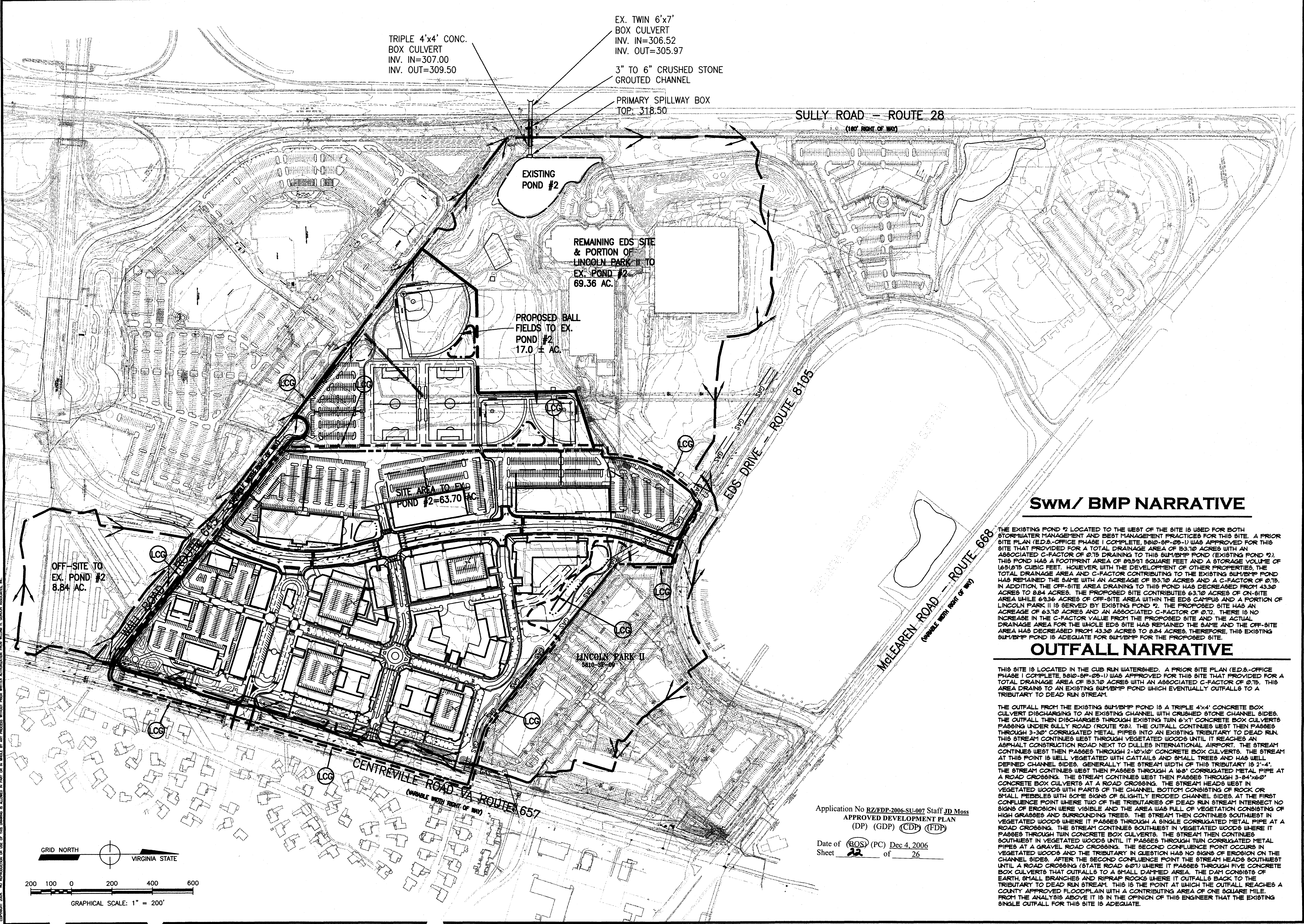
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CAD FILE 0640-EP.dwg

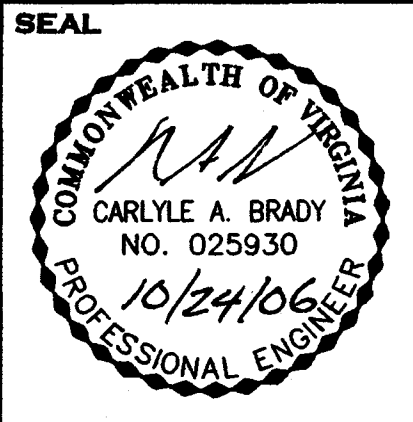
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OCTOBER 24, 2006

**SWM/ BMP NARRATIVE**

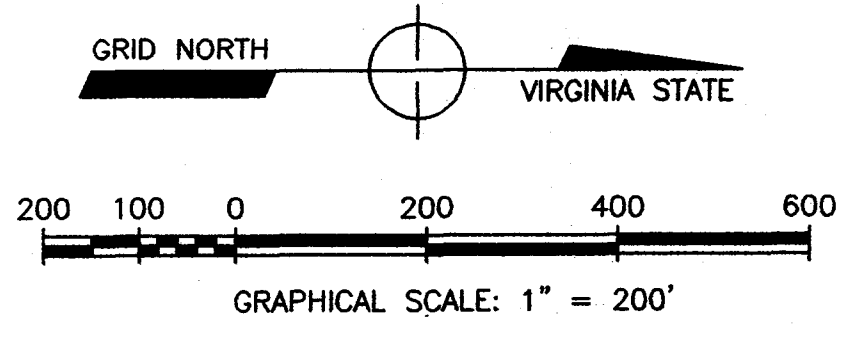
THE EXISTING POND #2 LOCATED TO THE WEST OF THE SITE IS USED FOR BOTH STORAGE AND WATER MANAGEMENT AND BEST MANAGEMENT PRACTICES FOR THIS SITE. A PRIOR SITE PLAN (ED.S.-OFFICE PHASE I COMPLETE, 5810-8P-05-1) WAS APPROVED FOR THIS SITE THAT PROVIDED FOR A TOTAL DRAINAGE AREA OF 63.10 ACRES WITH AN ASSOCIATED C-FACTOR OF 0.15 DRAINING TO THIS SWM/BMP POND (EXISTING POND #2). THIS POND HAS A FOOTPRINT AREA OF 89,591 SQUARE FEET AND A STORAGE VOLUME OF 1,651,675 CUBIC FEET. HOWEVER, WITH THE DEVELOPMENT OF OTHER PROPERTIES, THE TOTAL DRAINAGE AREA AND C-FACTOR CONTRIBUTING TO THE EXISTING SWM/BMP POND HAS REMAINED THE SAME WITH AN ACREAGE OF 63.10 ACRES AND A C-FACTOR OF 0.15. IN ADDITION, THE OFF-SITE AREA DRAINING TO THIS POND HAS DECREASED FROM 43.30 ACRES TO 28.4 ACRES. THE PROPOSED SITE CONTRIBUTES 63.10 ACRES OF ON-SITE AREA WHILE 63.36 ACRES OF OFF-SITE AREA WITHIN THE EDS CAMPUS AND A PORTION OF LINCOLN PARK II IS SERVED BY EXISTING POND #2. THE PROPOSED SITE HAS AN ACREAGE OF 63.10 ACRES AND AN ASSOCIATED C-FACTOR OF 0.15. THERE IS NO INCREASE IN THE C-FACTOR VALUE FROM THE PROPOSED SITE AND THE ACTUAL DRAINAGE AREA FOR THE WHOLE EDS SITE HAS REMAINED THE SAME AND THE OFF-SITE AREA HAS DECREASED FROM 43.30 ACRES TO 28.4 ACRES. THEREFORE, THIS EXISTING SWM/BMP POND IS ADEQUATE FOR SWM/BMP FOR THE PROPOSED SITE.

**OUTFALL NARRATIVE**

THIS SITE IS LOCATED IN THE CUB RUN WATERSHED. A PRIOR SITE PLAN (ED.S.-OFFICE PHASE I COMPLETE, 5810-8P-05-1) WAS APPROVED FOR THIS SITE THAT PROVIDED FOR A TOTAL DRAINAGE AREA OF 63.10 ACRES WITH AN ASSOCIATED C-FACTOR OF 0.15. THIS AREA DRAINS TO AN EXISTING SWM/BMP POND WHICH EVENTUALLY OUTFALLS TO A TRIBUTARY TO DEAD RUN STREAM.

THE OUTFALL FROM THE EXISTING SWM/BMP POND IS A TRIPLE 4'x4' CONCRETE BOX CULVERT DISCHARGING TO AN EXISTING CHANNEL WITH CRUSHED STONE CHANNEL SIDES. THE OUTFALL THEN DISCHARGES THROUGH EXISTING TWIN 6'x7' CONCRETE BOX CULVERTS PASSING UNDER SULLY ROAD (ROUTE #28). THE OUTFALL CONTINUES WEST THEN PASSES THROUGH 3-30\"/>

Application No RZ/EDP-2006-SU-007 Staff JD Moss  
 APPROVED DEVELOPMENT PLAN  
 (DP) (GDP) (CDP) (FDI)  
 Date of (BOS) (PC) Dec 4, 2006  
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ADEQUATE OUTFALL & SWM/BMP ANALYSIS

**EDS / LINCOLN PROPERTY**  
 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

**SCALE** 1" = 200'

**DATE** SEPTEMBER 2005

**DRAWN** CH

**CHECKED** MJ

**JOB #** 0640-1518

**CAD FILE** 0640-AO.dwg

**SHEET #** 22 OF 26





**MIXED USE PERSPECTIVE - VIEW ALONG CENTREVILLE ROAD LOOKING AT BLOCK 1**

SCALE: N.T.S.



**MIXED USE PERSPECTIVE - VIEW ALONG CENTREVILLE ROAD LOOKING THROUGH MAIN STREET**

SCALE: N.T.S.

**shook kelley**

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F 704 377 0953

950 South Robertson Blvd.  
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MIXED USE PERSPECTIVES

**EDS / LINCOLN PROPERTY**  
SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE	N.T.S.
DATE	FEBRUARY 1, 2006
DRAWN	DK/NY/OFS
CHECKED	SEG
JOB #	0640-1518
CAD FILE	0640-ELV.dwg
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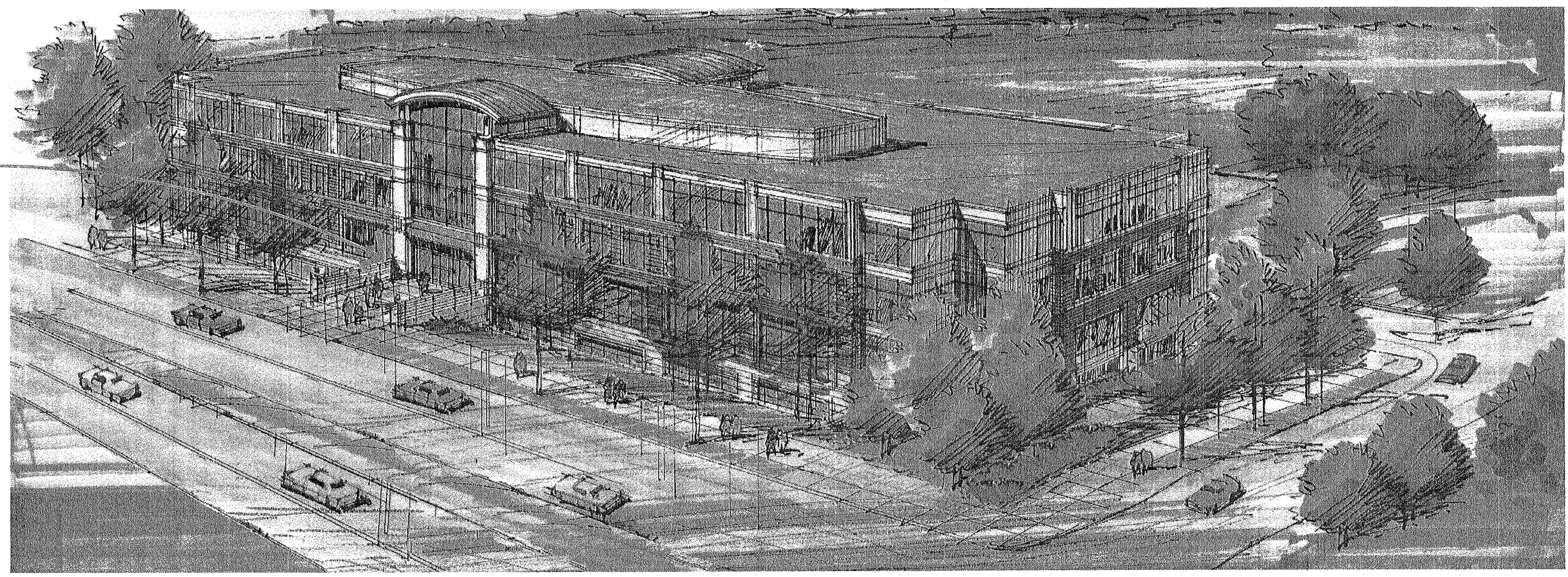


Application No RZ/FDP-2006-SU-007 Staff JD Moss  
 APPROVED DEVELOPMENT PLAN  
 (DP) (GDP) (CDP) (FDP)  
 Date of (ROS) (PC) Dec 4, 2006  
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**RESIDENTIAL PERSPECTIVE - VIEW ALONG CENTREVILLE ROAD**  
**LOOKING AT BLOCK 3 & 5** SCALE: N.T.S.

**shook kelley™**

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 650 South Robertson Blvd Suite One Los Angeles, CA 90038-1621 T 704 377 0661 F 704 377 0653  
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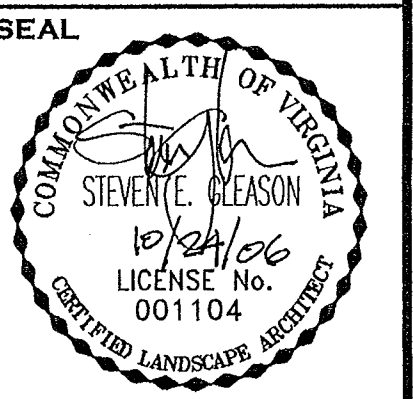
BUILDING ENTRY WAY TO BE ORIENTED TO STREET

**HKS**  
**HKS, INC.**  
 1919 MCKINNEY AVENUE  
 DALLAS, TEXAS 75201  
 214.969.3362 office

**OFFICE USE PERSPECTIVE - VIEW ALONG NORTH/SOUTH COLLECTOR ROAD**

NOTE: ACTUAL OFFICE BUILDINGS WILL BE BETWEEN 2 AND 4 STORIES (SEE CDP)  
 SCALE: N.T.S.

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RESIDENTIAL AND OFFICE PERSPECTIVE  
**EDS / LINCOLN PROPERTY**  
 SULLY DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE	N.T.S.
DATE	FEBRUARY 1, 2006
DRAWN	DK/NY/OFS
CHECKED	SEG
JOB #	0640-1518
CAD FILE	0640-ELV.dwg
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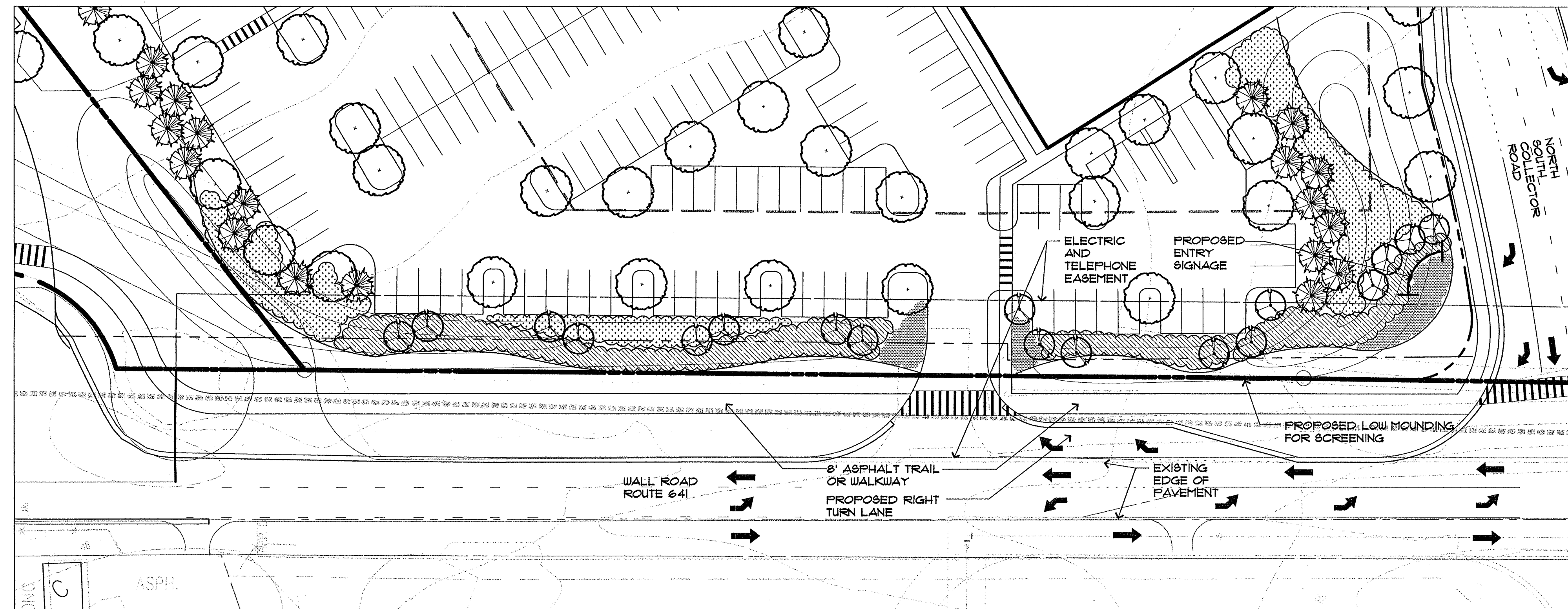
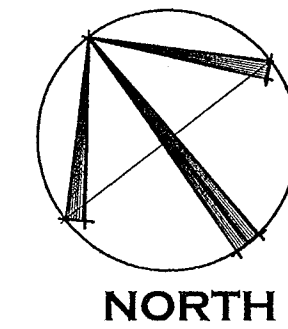


# LANDSCAPE LEGEND

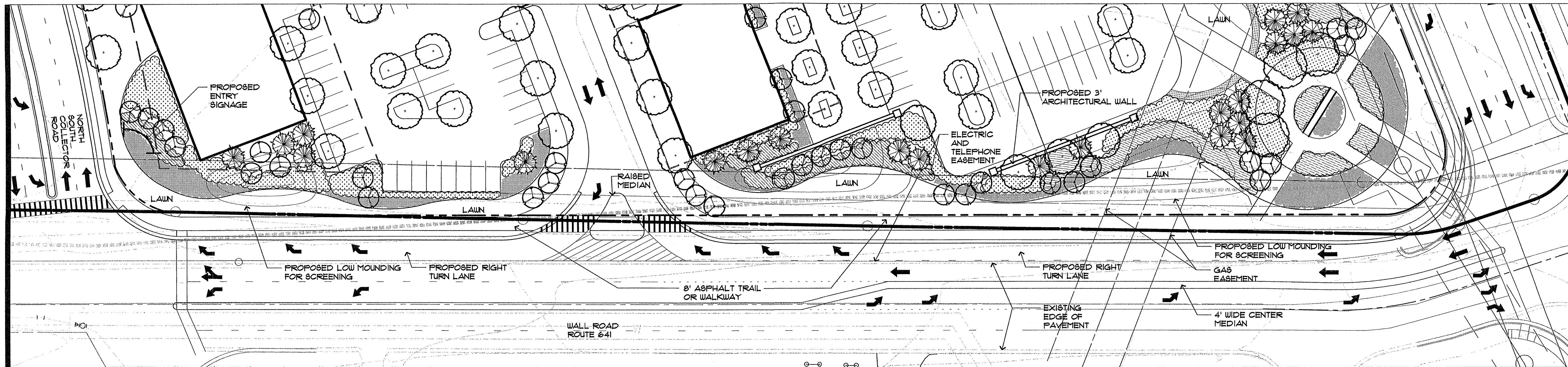
TREE TYPE	SPECIES (TYP.)	SIZE (TYP.)
• SHADE TREE	RED MAPLE AMERICAN ELM 'NEW HARMONY' WILLOW OAK HONEY LOCUST	3-3 1/2' CALIPER (12-15' HT.) SIZES ARE FOR ALONG PUBLIC AND PRIVATE STREETS
• ORNAMENTAL TREE	FLOWERING CRABAPPLE KOUSA DOGWOOD CHERRY JAPANESE SNOWBELL	1 1/2-2' CALIPER (8-10' HT.)
• EVERGREEN TREE	AUSTRIAN PINE LEYLAND CYPRESS SPRUCE HOLLY	6-7' HEIGHT
• EVERGREEN SHRUB	ABELIA BOXWOOD YEW HOLLY	24-30' HEIGHT
• DECIDUOUS SHRUB	VIBURNUM SPIRAEA KOREAN LILAC AZAELA	24-30' HEIGHT
• GROUND COVER		

# LANDSCAPE NOTES:

- SEE PROFFERS REGARDING LANDSCAPE AND DESIGN DETAILS.
- THE PROPOSED LANDSCAPE SHALL BE UTILIZED TO MEET MINIMUM TREE COVER REQUIREMENTS FOR MULTI-FAMILY USES. SEE TREE COVER CALCULATIONS.
- SEE NOTE 12 ON SHEET 2 REGARDING TRANSITIONAL SCREEN YARD WAIVERS/ MODIFICATIONS.
- INTERIOR COURTYARDS TO CONTAIN A MINIMUM 50% GREEN SPACE (LAWN, SHRUBS, AND/OR GROUND COVER-PERENNIALS).
- STREET TREES SHALL BE SUITABLE TO WITHSTAND ADVERSE URBAN CONDITIONS. POSSIBLE STREET TREES TO INCLUDE, LONDON PLANETREE AND/ OR AMERICAN ELM 'NEW HARMONY'. THE AMERICAN ELM IS CONSIDERED TO BE ONE OF THE BEST STREET TREES, TOLERATING VERY LIMITED SPACE AND LASTING FOR DECADIES. THE NEW HARMONY IS A DISEASE RESISTANT USDA VARIETY THAT HAS NOT BEEN SUSCEPTIBLE TO DUTCH ELM DISEASE SINCE ITS INTRODUCTION.
- ALL TREES TO BE LOCATED A MIN 5' OFF PUBLIC UTILITY EASEMENTS PER FAIRFAX COUNTY PRT.
- TREES ON PLAZA WILL BE LOCATED IN ENGINEERED PLANTING SOIL.



**2 WALL ROAD WIDENING AND IMPROVEMENTS PLAN (WEST OF NORTH SOUTH COLLECTOR ROAD)**  
SCALE: 1" = 30'-0"



**1 WALL ROAD WIDENING AND IMPROVEMENTS PLAN (EAST OF NORTH SOUTH COLLECTOR ROAD)**  
SCALE: 1" = 30'-0"

WALL ROAD BUFFER PLAN

**EDS / LINCOLN PROPERTY**  
SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE 1"=30'

DATE FEBRUARY 1, 2006

DRAWN DK/NY/OPS

CHECKED SEG

JOB # 0640-1518

CAD FILE 0640-BP-WALL.dwg

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Application No RZ/FDP-2006-SU-007 Staff JD Moss  
APPROVED DEVELOPMENT PLAN (DP) (GDP) (CDP) (FDP)

Date of (BOS) (PC) Dec 4, 2006  
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SEAL  
COMMONWEALTH OF VIRGINIA  
STEVEN G. GLEASON  
LICENSE No. 001104  
LANDSCAPE ARCHITECT

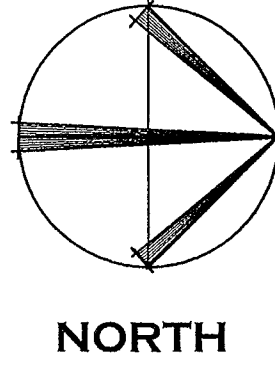
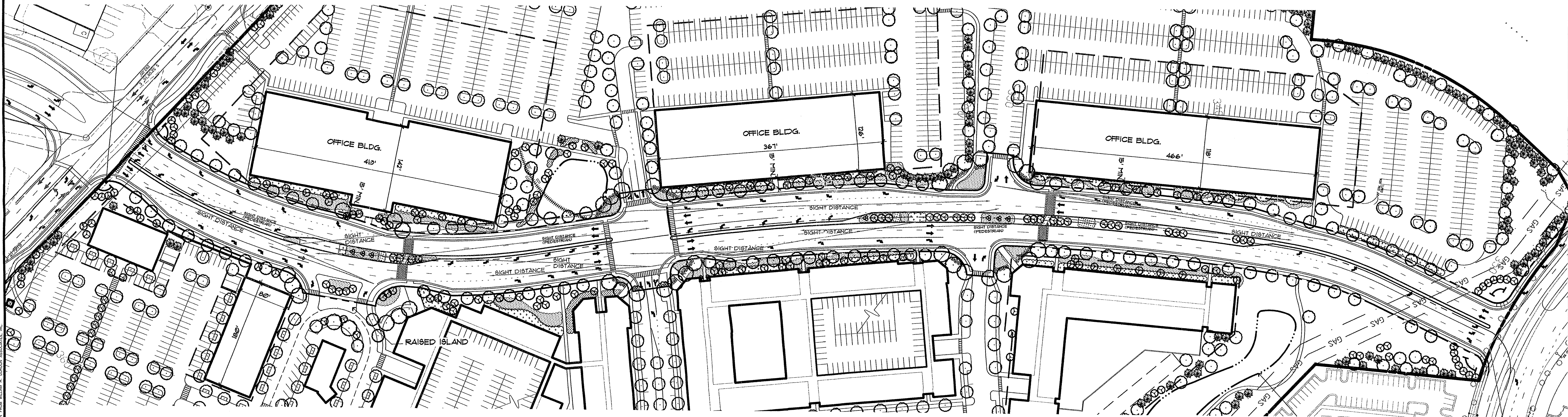
MATCHLINE - SEE THIS SHEET

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# LANDSCAPE LEGEND

TREE TYPE	SPECIES (TYP.)	SIZE (TYP.)
• SHADE TREE	RED MAPLE AMERICAN ELM NEW HARMONY WILLOW OAK HONEY LOCUST	3-3 1/2" CALIPER (12-15' HT.) SIZES ARE FOR ALONG PUBLIC AND PRIVATE STREETS
• ORNAMENTAL TREE	FLOWERING CRABAPPLE KOUSA DOGWOOD CHERRY JAPANESE SNOWBELL	1 1/2-2" CALIPER (8-10' HT.)
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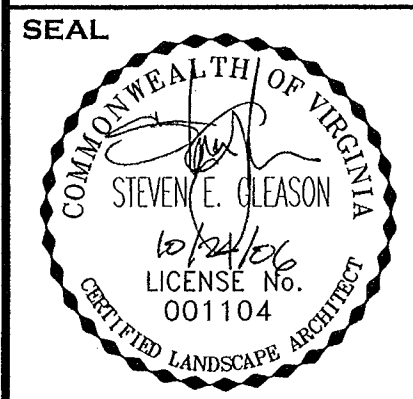


NOTE:  
STREET TREES MAY BE ADJUSTED FOR  
SIGHT DISTANCE AT FINAL ENGINEERING.

**RIGHT TURN LANE EXHIBIT**  
SCALE: 1" = 80'



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NORTH-SOUTH COLLECTOR ROAD WITH RIGHT TURN LANES  
**EDS / LINCOLN PROPERTY**  
SULLY DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE	1" = 80'
DATE	FEBRUARY 1, 2006
DRAWN	DK/NY/OFS
CHECKED	SEG
JOB #	0640-1518
CAD FILE	0640-TNLEXB.dwg
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APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)  
Date of (BOS) (PC) Dec 4, 2006  
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